

## LAYOUT & MATERIALS NOTES

- ALL ACCESSIBLE CURB CUTS SHALL BE CONSTRUCTED TO MEET A.D.A. AND M.A.A.B. REQUIREMENTS.
  - AT AREAS OF VERTICAL GRANITE CURB, TRANSITIONAL VERTICAL GRANITE CURB AND FLUSH GRANITE CURB SHALL BE PROVIDED AS NECESSARY.
  - SEE NOTE 3 BELOW.
- ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1:50 (2%) IN ANY DIRECTION.
- WALKWAY GRADES SHALL NOT HAVE SLOPES IN EXCESS OF 1:20 (5%) OR CROSS SLOPES IN EXCESS OF 1:50 (2%), UNLESS OTHERWISE NOTED.
- WALK GRADIENTS AND CROSS SLOPES SHOWN ON THE GRADING PLANS ARE WITHIN, OR LESS THAN, THE REQUIREMENTS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD'S (MAAB) REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT THE WORK SO THAT IT IS COMPLIANT WITH ALL REQUIRED REGULATIONS. NOTE THAT THE MAXIMUM GRADIENTS WITHIN THE REGULATIONS DO NOT RECOGNIZE "CONSTRUCTION TOLERANCES." EXCEEDING THE MAXIMUM GRADIENTS IN THE REGULATIONS IS ENTIRELY AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL VERIFY IN WRITING THAT ALL WALKS HAVE BEEN CONSTRUCTED IN COMPLIANCE WITH THE MAAB'S REGULATIONS.
- CURB RADII AND DIMENSIONS SHOWN ARE AT THE FACE OF CURB.
- LAYOUT SHOWN HEREON IS BASED UPON THE EXISTING CONDITIONS SURVEY PLAN CONTAINED IN THIS SET OF DRAWINGS. SURVEYOR OF RECORD SHALL BE CONTACTED PRIOR TO COMMENCEMENT OF ANY SITE WORK TO ESTABLISH SURVEY CONTROL FOR LAYOUT PURPOSES.
- ALL ACCESSIBLE PARKING SPACES SHALL HAVE SIGNAGE AND MARKINGS COMPLIANT WITH MAAB REGULATIONS.
- ROAD AND PARKING STRIPING SHALL BE STANDARD 4-INCH WIDE STRIPING AND MEET MUTCD STANDARDS.

## PARKING DATA

### REQUIRED:

RETAIL SPACE - 8,870 SF OF GROSS FLOOR AREA  
MAXIMUM OF ONE (1) SPACE PER 200 SF OF GROSS FLOOR AREA  
8,870 SF / 200 SF X 1 = 45 SPACES REQUIRED (MAXIMUM)  
MINIMUM OF ONE (1) SPACE PER 500 SF OF GROSS FLOOR AREA  
8,870 SF / 500 SF X 1 = 18 SPACES REQUIRED (MINIMUM)  
TOTAL REQUIRED: 18-45 SPACES FOR RETAIL SPACE

RESIDENTIAL FLOORS (16 UNITS)  
TWO (2) SPACES FOR EVERY UNIT  
16 UNITS X 2 = 32 SPACES REQUIRED  
TOTAL REQUIRED: 32 SPACES FOR RESIDENTIAL

TOTAL REQUIRED: 50-77 SPACES FOR BOTH USES  
TOTAL SHOWN: 50 (18 SURFACE + 32 GARAGE)

ACCESSIBLE PARKING: SPACES REQUIRED = 3 INCLUDING 1 VAN ACCESSIBLE  
SPACES PROPOSED = 3 TOTAL (2 IN THE GARAGE AND  
1 VAN ACCESSIBLE IN THE PARKING LOT)

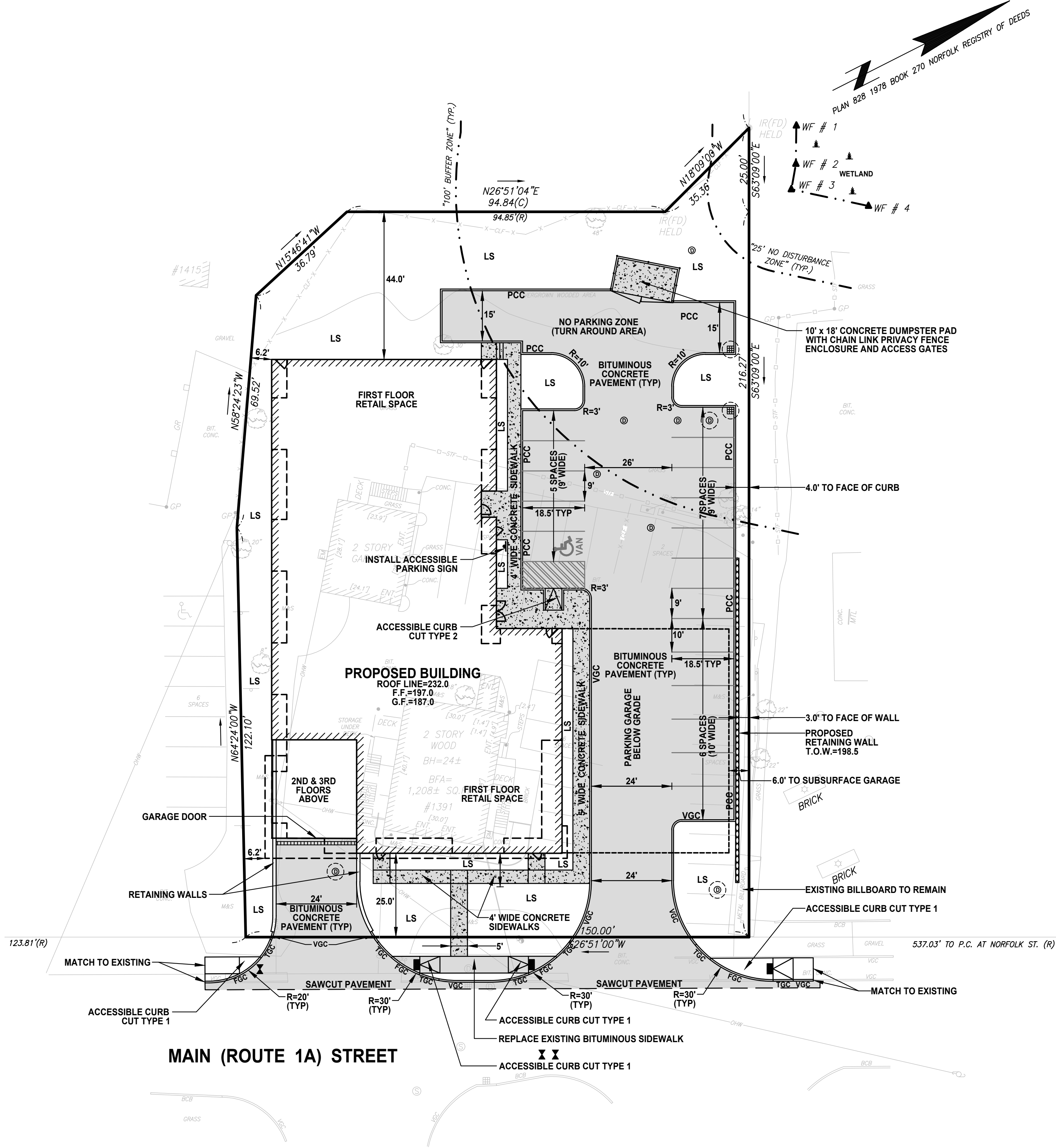
## LEGEND

(SEE EXISTING CONDITIONS PLAN FOR  
EXISTING CONDITIONS SYMBOLS AND ABBREVIATIONS)

LS	PROPOSED LANDSCAPED AREA
F.F.	PROPOSED FIRST FLOOR ELEVATION
G.F.	PROPOSED GARAGE FLOOR ELEVATION
PCC	PROPOSED PRECAST CONCRETE CURB
VGC	PROPOSED VERTICAL GRANITE CURB
FGC	PROPOSED FLUSH GRANITE CURB
TGC	PROPOSED TRANSITIONAL GRANITE CURB
CB	PROPOSED CATCH BASIN
DMH	PROPOSED DRAIN MANHOLE
OCS	PROPOSED OUTLET CONTROL STRUCTURE
STU	PROPOSED STORMWATER TREATMENT UNIT
T.O.W.	PROPOSED TOP OF WALL ELEVATION
LS	PROPOSED LANDSCAPED AREA
R=	PROPOSED CURB RADIUS

## ZONING CHART

	REQUIRED	PROPOSED
LOT AREA	15,000 SF	32,488 SF
FRONT SETBACK	15 FT (MIN) 25 FT (MAX)	25.0 FT
SIDE SETBACK	6 FT	6.0 FT (NORTH) 6.2 FT (SOUTH)
REAR SETBACK	20 FT	44.0 FT
BUILDING HEIGHT	40 FT	35.31 FT (SEE SHEET C-2)
STORIES	3 (MAX)	3 STORIES
LOT COVERAGE BY STRUCTURE	40% (12,995 SF)	34.9% (11,322 SF)
LOT COVERAGE BY STRUCTURE & IMPERVIOUS	70% (22,741 SF)	69.8% (22,697 SF)



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### LANDSCAPE ARCHITECT

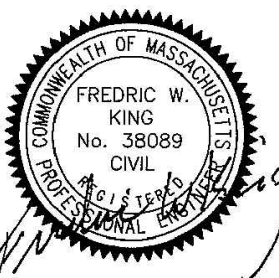
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PREPARED FOR / APPLICANT:

**SAYED HALABI**

ISSUED FOR:

**PERMITTING PURPOSES**



NO. APP DATE DESCRIPTION

DATE: **APRIL 15, 2020**

SCALE: **1" = 20'**

DESIGNED: **KMR** DRAFTED: **KMR** CHECKED: **FWK**

PROJECT TITLE:

**PERMIT  
SITE PLAN**

**1363 - 1365 MAIN STREET  
WALPOLE, MASSACHUSETTS 02081**

SHEET TITLE:

**SITE LAYOUT AND  
MATERIALS PLAN**

SHEET:

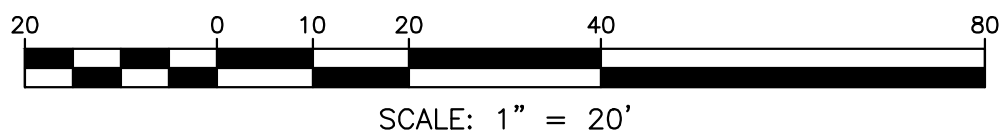
**1 OF 10**

PROJECT NO.:

**25551**

**CE-01**

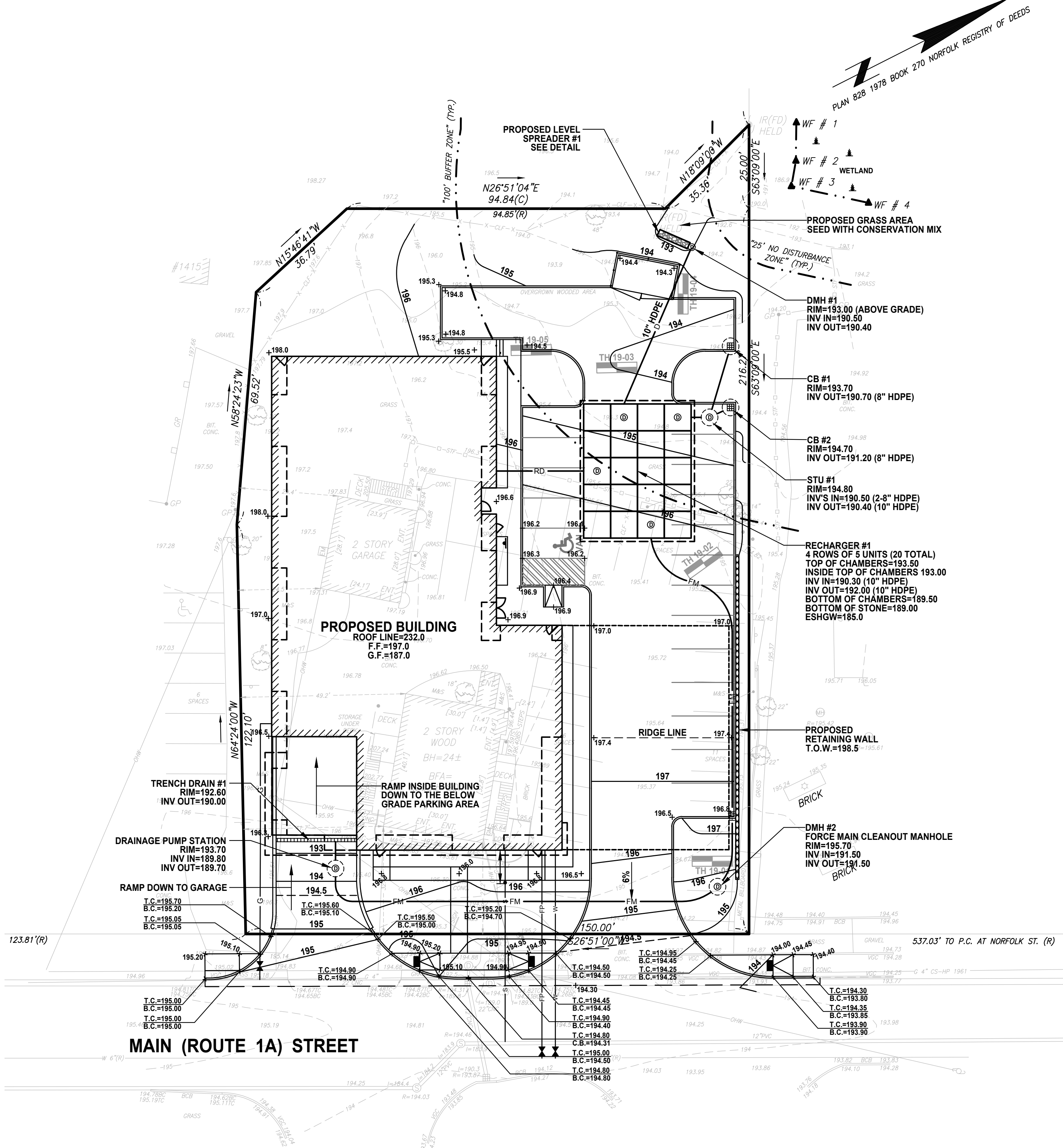
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SCALE: 1" = 20'

DRAINAGE NOTES

1. FOR ROOF DRAINS, SEE PLUMBING PLANS. ROOF DRAINS EXITING THE BUILDING TO 10 FEET FROM THE BUILDING ARE BY THE PLUMBING CONTRACTOR. SITE CONTRACTOR TO COORDINATE WITH THE PLUMBER.
2. FOR FOUNDATIONS DRAINS, UNDER SLAB DRAIN CONNECTIONS AND CLEANOUT DETAILS, SEE STRUCTURAL PLANS.
3. UNLESS OTHERWISE NOTED ON THE PLANS, ALL DRAINAGE PIPE SHALL BE HDPE AND SHALL BE HEAVY DUTY CORRUGATED SMOOTH INTERIOR WALL PIPE (HDPE) OR APPROVED EQUAL.
4. STORMWATER MANAGEMENT STRUCTURES/MANHOLE TO REMAIN:
- ADJUST FRAMES AND COVERS TO FINISHED GRADE AS NECESSARY. WHEN ADJUSTING UP LESS THAN 18", USE BRICK AND MORTAR TO RAISE FRAME AND COVER. WHEN ADJUSTING GREATER THAN 18", USE PRECAST CONCRETE RING ALONG WITH BRICK AND MORTAR TO BRING TO GRADE.
  - ALL WORK PER THE TOWN OF WALPOLE DPW REQUIREMENTS.
5. ALL UTILITIES NOTED AS "TO BE REMOVED/ABANDONED": EXISTING UTILITIES TO BE REMOVED/ABANDONED WHERE THEY INTERFERE WITH NEW CONSTRUCTION CANNOT BE ABANDONED IN PLACE, UNLESS OTHERWISE NOTED, AND SHALL BE REMOVED. OTHER UTILITIES SHOWN TO BE REMOVED/ABANDONED MAY BE CUT, CAPPED AND FILLED WITH FLOWABLE FILL AND ABANDONED IN PLACE. UTILITIES ABANDONED IN PLACE SHALL BE LOCATED, NOTED AND SHOWN ON THE AS-BUILT PLANS.
6. CONTRACTOR TO COORDINATE ELECTRIC / TELECOMM DUCT BANK LOCATIONS AND ELEVATIONS TO AVOID CONFLICT WITH DRAIN LINES AND STRUCTURES.



LEGEND

(SEE EXISTING CONDITIONS PLAN FOR EXISTING CONDITIONS SYMBOLS AND ABBREVIATIONS)

- D — PROPOSED DRAIN LINE  
RD — PROPOSED ROOF DRAIN  
FD — PROPOSED FOUNDATION DRAIN  
W — PROPOSED WATER LINE  
FP — PROPOSED FIRE PROTECTION SERVICE LINE  
S — PROPOSED SEWER LINE  
FM — PROPOSED DRAIN LINE FORCE MAIN  
G — PROPOSED GAS LINE  
— — EXISTING UTILITY TO BE REMOVED/ABANDONED (SEE NOTES)  
DMH(⊙) — PROPOSED DRAIN MANHOLE  
STU(⊙) — PROPOSED STORMWATER TREATMENT UNIT  
CB — PROPOSED DEEP SUMP CATCH BASIN  
OCS — PROPOSED OUTLET CONTROL STRUCTURE  
WG — PROPOSED WATER GATE VALVE

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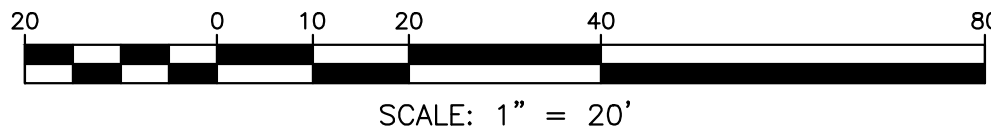
SHEET TITLE:

GRADING AND  
DRAINAGE PLAN

SHEET:  
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PROJECT NO.:  
25551

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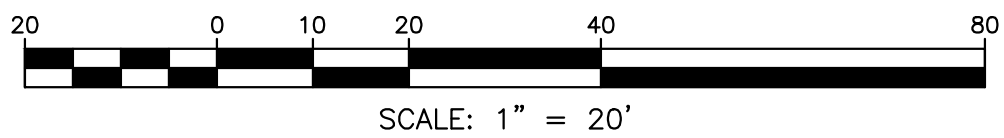
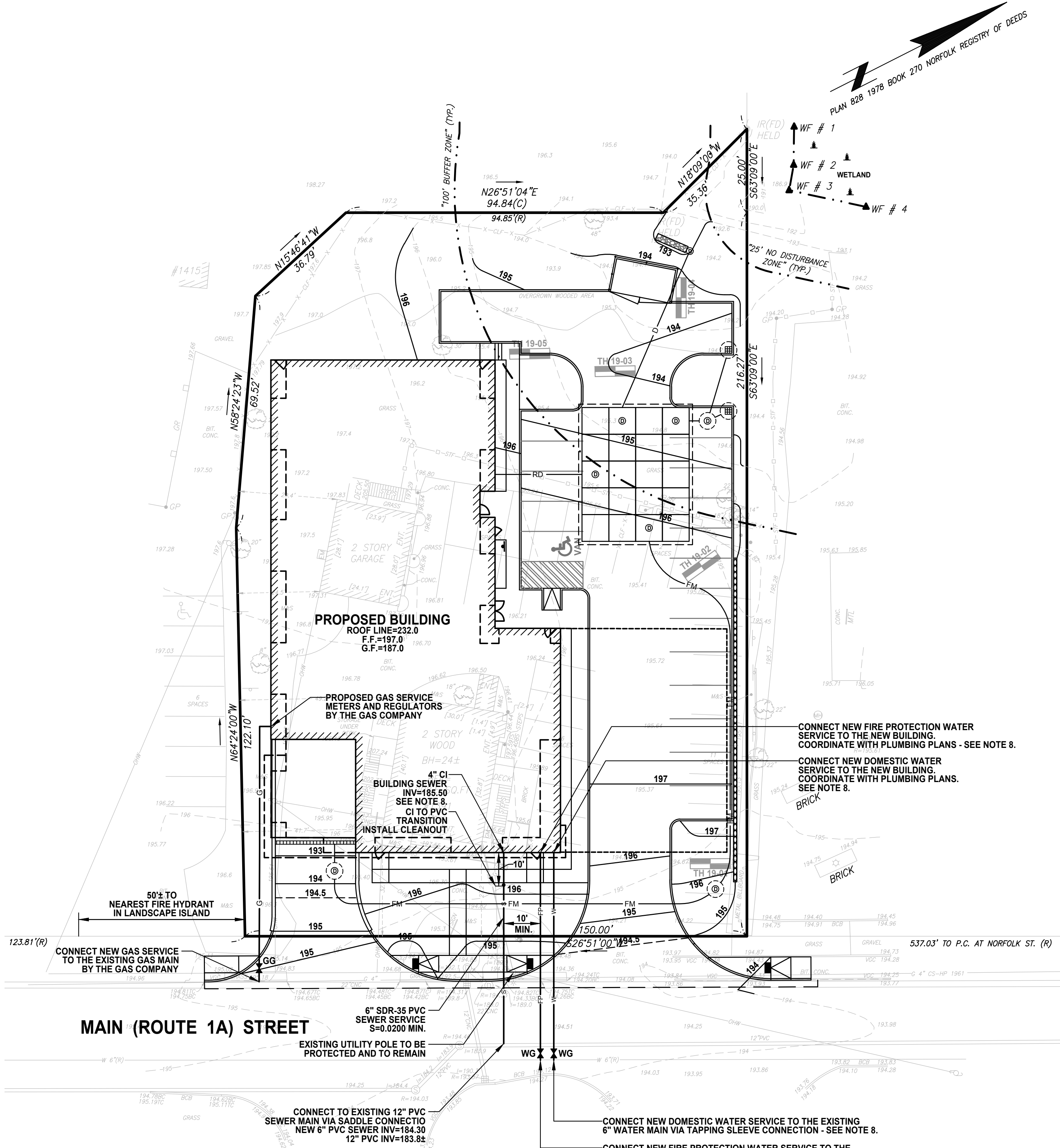
## SITE UTILITY NOTES

- ALL UTILITY INSTALLATION TO BE IN FULL COMPLIANCE WITH THE TOWN OF WALPOLE DPW REQUIREMENTS.
- REFER TO PLUMBING DRAWINGS FOR ADDITIONAL SEWER, WATER AND GAS INFORMATION.
- ALL WATER MAINS AND SERVICES TO HAVE A MINIMUM COVER OF 5'-0".
- FOR SIAMESE FIRE CONNECTIONS AND FIRE SERVICE CONNECTIONS, SEE FIRE PROTECTION PLANS.
- SEWER SERVICE INSTALLATION:
  - CONTRACTOR IS TO PERFORM ALL SEWER INSTALLATION WORK SUCH THAT THERE IS NO DISRUPTION IN SERVICE TO THE EXISTING FACILITIES.
  - ALL EXISTING SEWER CONNECTIONS AND/OR COMPONENTS TO BE ABANDONED SHALL BE PROPERLY CAPPED AND PLUGGED IN ACCORDANCE WITH THE TOWN OF WALPOLE DPW REQUIREMENTS.
- ALL UTILITIES NOTED AS "TO BE REMOVED/ABANDONED": EXISTING UTILITIES TO BE REMOVED/ABANDONED WHERE THEY INTERFERE WITH NEW CONSTRUCTION CANNOT BE ABANDONED IN PLACE AND SHALL BE REMOVED. OTHER UTILITIES SHOWN TO BE REMOVED/ABANDONED MAY BE CUT, CAPPED AND FILLED WITH FLOWABLE FILL AND ABANDONED IN PLACE. UTILITIES ABANDONED IN PLACE SHALL BE LOCATED, NOTED AND SHOWN ON THE AS-BUILT PLANS.
- CONTRACTOR TO COORDINATE ELECTRIC / TELECOMM DUCT BANK LOCATIONS AND ELEVATIONS TO AVOID CONFLICT WITH PROPOSED SEWER, WATER AND GAS LINES AND STRUCTURES AND ALL EXISTING UTILITIES.
- AT THIS TIME, THE PIPE SIZES FOR THE WATER SERVICE LINES AND SEWER SERVICE LINE ARE SHOWN AS APPROXIMATE. FINAL PIPE SIZES TO BE COORDINATED WITH THE PLUMBING ENGINEER FOR CONSTRUCTION DOCUMENTS.

## LEGEND

(SEE EXISTING CONDITIONS PLAN FOR EXISTING CONDITIONS SYMBOLS AND ABBREVIATIONS)

—D—	PROPOSED DRAIN LINE
—RD—	PROPOSED ROOF DRAIN
—FD—	PROPOSED FOUNDATION DRAIN
—W—	PROPOSED WATER LINE
—FP—	PROPOSED FIRE PROTECTION SERVICE LINE
—S—	PROPOSED SEWER LINE
—FM—	PROPOSED SEWER FORCE MAIN LINE
—G—	PROPOSED GAS LINE
—X—	EXISTING UTILITY TO BE REMOVED/ABANDONED (SEE NOTES)
DMH (⊙)	PROPOSED DRAIN MANHOLE
STU (⊙)	PROPOSED STORMWATER TREATMENT UNIT
CB (■)	PROPOSED DEEP SUMP CATCH BASIN
RD	PROPOSED ROOF DRAIN
OCS	PROPOSED OUTLET CONTROL STRUCTURE
SMH (⊙)	PROPOSED SEWER MANHOLE
WG (M)	PROPOSED WATER GATE VALVE
HYD (◆)	PROPOSED FIRE HYDRANT
HDPE	HIGH DENSITY POLYETHYLENE



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## LANDSCAPE ARCHITECT

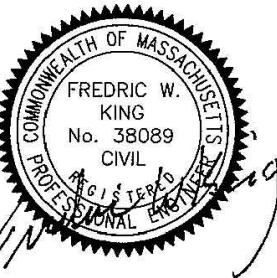
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KMR	KMR	FWK

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SITE PLAN

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WALPOLE, MASSACHUSETTS 02081

SHEET TITLE:

SITE UTILITIES PLAN

SHEET:  
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GENERAL DEMOLITION NOTES

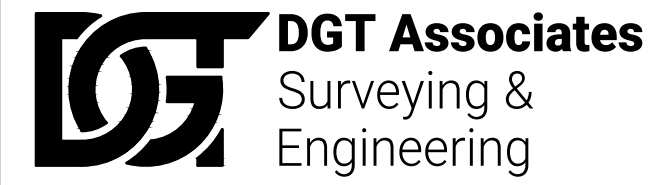
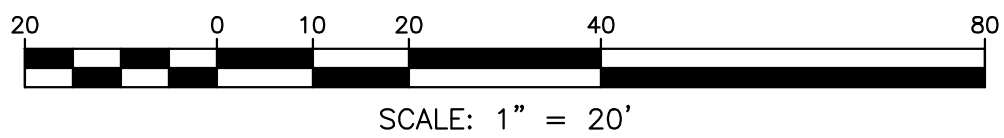
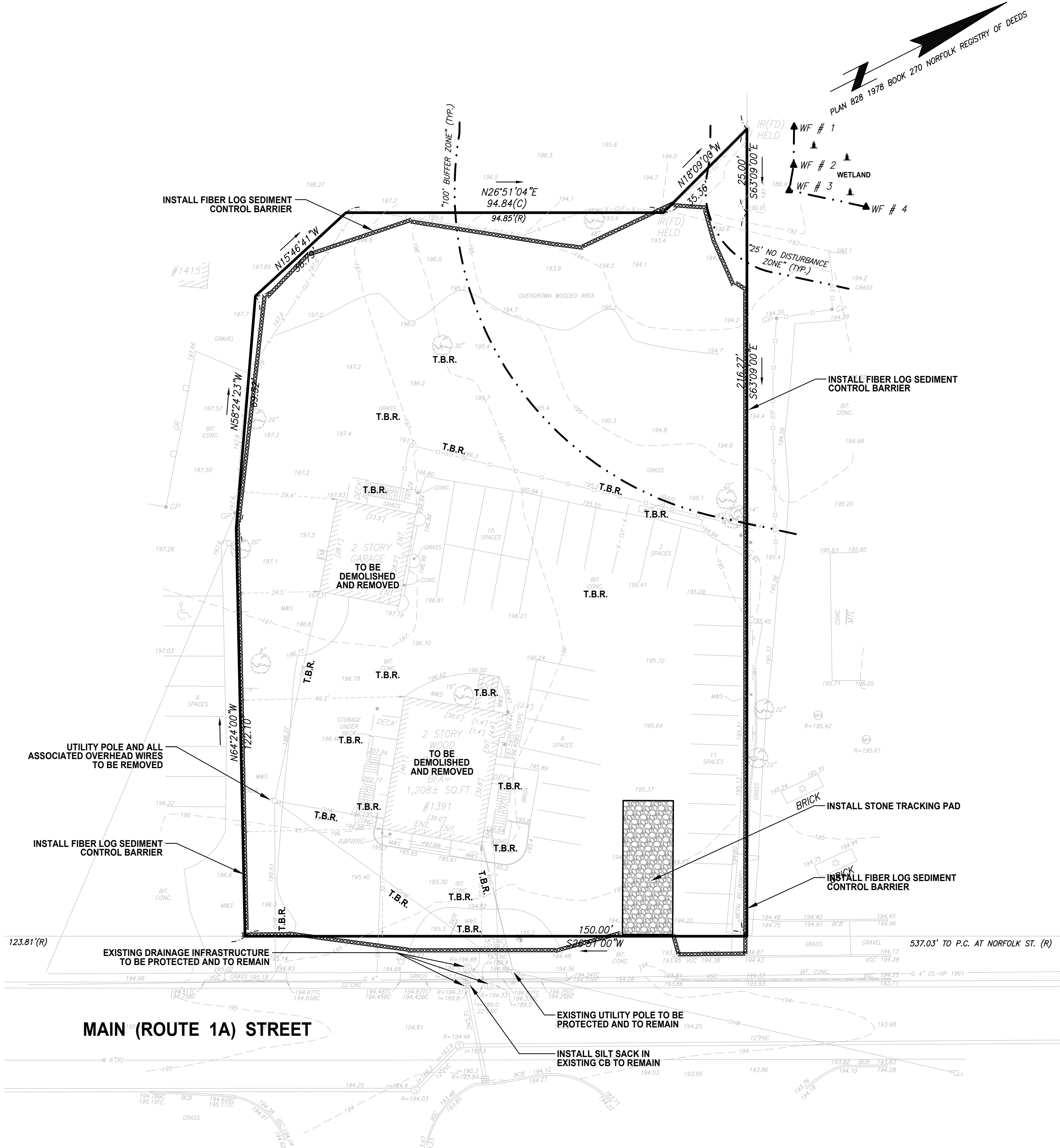
- ALL UTILITY INSTALLATION AND REMOVALS TO BE IN FULL COMPLIANCE WITH THE TOWN OF WALPOLE DPW STANDARDS AND REQUIREMENTS. WHERE ANY WORK SHOWN ON THESE PLANS CONFLICTS WITH THOSE STANDARDS AND REQUIREMENTS THE TOWN OF WALPOLE STANDARDS WILL CONTROL.
- LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER GATES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE LOCATION SHOWN SHALL BE CONSIDERED APPROXIMATE. BEFORE CONSTRUCTION, THE LOCATION OF UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AND REPORT TO THE ARCHITECT PRIOR TO BEGINNING WORK ANY DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL SITE CONDITIONS. IN ACCORDANCE WITH CH. 82, SEC. 40 AS AMENDED, ALL UTILITY COMPANIES AND APPLICABLE GOVERNMENT AGENCIES MUST BE CONTACTED. CONTACT "DIG-SAFE" AT 811.
- CONTRACTOR SHALL OBTAIN ANY REQUIRED TRENCHING AND ROAD OPENING PERMIT FROM THE TOWN OF WALPOLE PUBLIC WORKS DEPARTMENT AND MASS DOT AS NECESSARY FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY.
- ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. A TRENCH EXCAVATION PERMIT IS REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
- SAWCUT AND PATCH OF PAVEMENT WITHIN THE STATE ROAD RIGHT OF WAY SHALL BE PERFORMED PER THE MASS DOT STANDARDS.
- ALL UTILITY TRENCHES WITHIN THE RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE TOWN OF WALPOLE DPW STANDARDS AND MASS DOT STANDARDS.
- FOR ALL DEMOLITION OF EXISTING LANDSCAPE AREAS AND EXISTING TREES, SEE THE LANDSCAPE PLANS.
- SEE SHEET CE-05 FOR EROSION AND SEDIMENT CONTROL NOTES.

LEGEND

(SEE EXISTING CONDITIONS PLAN FOR EXISTING CONDITIONS SYMBOLS AND ABBREVIATIONS)

EXISTING UTILITY TO BE REMOVED/ABANDONED (SEE NOTES)

T.B.R. TO BE REMOVED



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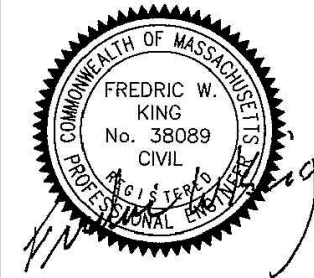
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PERMIT  
SITE PLAN

1363 - 1365 MAIN STREET  
WALPOLE, MASSACHUSETTS 02081

SHEET TITLE:

SITE DEMO &  
EROSION AND  
SEDIMENT  
CONTROL PLAN

SHEET:  
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PROJECT NO.:  
25551

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GENERAL PERFORMANCE STANDARDS

1. THE CONTRACTOR SHALL INSTALL, ROUTINELY INSPECT AND MAINTAIN ALL SEDIMENT AND EROSION CONTROLS SUCH THAT THEY ARE IN PROPER WORKING ORDER AT ALL TIMES DURING THE CONSTRUCTION PROJECT UNTIL SUCH TIME AS ALL AREAS OF THE SITE TRIBUTARY TO THOSE EROSION CONTROLS ARE IN A PERMANENTLY STABILIZED CONDITION.
2. THE CONTRACTOR SHALL MANAGE THE SITE SUCH THAT EROSION AND SEDIMENT FROM RUNOFF AND WIND BLOWN DUST ARE CONTROLLED AND MINIMIZED AT ALL TIMES. THE EROSION CONTROLS SHOWN ON THIS PLAN INCLUDE THE INITIAL SETUP OF EROSION CONTROLS AND BASIC INFORMATION TO MEET THE REQUIREMENT OF BEST MANAGEMENT PRACTICES. THE CONTRACTOR MUST MANAGE THE SITE PROPERLY WHICH MAY INCLUDE, BUT NOT BE LIMITED TO: MINIMIZING AREAS OF EXPOSED SOILS; INSTALLING TEMPORARY COVER; MAKE NECESSARY ADJUSTMENTS TO THE EROSION AND SEDIMENT CONTROL INSTALLATIONS TO IMPROVE FUNCTION; INSTALL ADDITIONAL EROSION CONTROL WHERE NECESSARY.
3. THE EROSION CONTROL WORK SHOWN ON THIS PLAN MAY BE SUBJECT TO OTHER STATE AND LOCAL APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE CONDITIONS AND REQUIREMENTS OF THOSE PERMITS.
4. DESIGN, INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROLS SHALL BE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOLLOWING THE GUIDELINES INCLUDED IN THE FOLLOWING:
- "STORMWATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES; DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES" U.S. ENVIRONMENTAL PROTECTION AGENCY, OCTOBER 1992.
  - "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, A GUIDE FOR PLANNERS, DESIGNERS AND MUNICIPAL OFFICIALS", MASS. EXECUTIVE OFFICE OF ENVIRONMENTAL AFFAIRS, MAY 2003.
  - U.S.D.A. NATURAL RESOURCES AND CONSERVATION SERVICES (NRCS) GUIDELINES.

FEDERAL NPDES PHASE II COMPLIANCE

1. THIS PROJECT IS NOT SUBJECT TO THE FEDERAL CLEAN WATER ACT REQUIREMENTS FOR CONSTRUCTION SITES ADMINISTERED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA). THE PREPARATION OF A COMPLETE "STORMWATER POLLUTION PREVENTION PLAN" (SWPPP) AND FILING A NOTICE OF INTENT WITH THE EPA IS NOT REQUIRED.

PERIMETER SEDIMENT BARRIER AND LIMIT OF WORK

1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS OF ANY AREA ON THE SITE, A SEDIMENT BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLAN.
2. INSTALL THE SEDIMENT BARRIER AS SHOWN ON THE PLAN. IN THOSE AREAS WHERE THE TOPOGRAPHY INDICATES THAT STORMWATER RUNOFF WILL BE CONCENTRATED (AT LOW POINTS), ADDITIONAL SEDIMENT BARRIER (SILT FENCE OR EQUAL) SHALL BE STAKED ON THE UPGRADIENT SIDE FOR ADDED FILTRATION AND PROTECTION. THE REQUIRED LOCATIONS FOR THE ADDITIONAL SEDIMENT BARRIER INSTALLATION WILL BE SELECTED BY THE ENGINEER AND / OR THE AUTHORIZED INSPECTOR UPON COMPLETION OF THE SEDIMENT BARRIER INSTALLATION. SEE DETAILS.
3. ONCE INSTALLED, THE SEDIMENT BARRIER SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADIENT FROM THE BARRIERS HAVE BEEN PERMANENTLY STABILIZED.
4. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE PROPOSED SHALL BE LOAMED AND SEEDED OR SODDED. SIX INCHES OF LOAM TOPSOIL (MIN. COMPACTED DEPTH) SHALL BE APPLIED UNLESS, OTHERWISE SPECIFIED. SEE LANDSCAPE PLAN AND OTHER PLANS AS APPLICABLE.
5. THE SEDIMENT BARRIER IS ALSO A LIMIT OF WORK. ALL AREAS OUTSIDE THE LIMIT ARE TO BE LEFT UNDISTURBED. DURING THE SITE WORK, ALL PERSONS AND EQUIPMENT SHALL STAY OUT OF THESE AREAS TO PRESERVE THE EXISTING VEGETATION AND SOIL COVER.

CONSTRUCTION ENTRANCE

1. AT THE START OF SITE WORK, A STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE ACCESS TO THE SITE FROM THE ROADWAY TO CONTROL THE TRACKING OF MUD OFF THE SITE. THE ENTRANCE SHALL BE MAINTAINED UNTIL THE SITE IS IN A STABILIZED CONDITION WHEN THE POSSIBILITY OF VEHICLES TRACKING MUD OFF SITE HAS BEEN ELIMINATED.
2. THE CONTRACTOR SHALL RELOCATE THE CONSTRUCTION ENTRANCE AS THE LOCATIONS CHANGE THROUGHOUT THE DURATION OF CONSTRUCTION.
3. THE CONTRACTOR SHALL SWEEP THE ADJACENT ROADWAYS WHEN MUD, DUST, DIRT, DEBRIS, ETC. HAS SHOWN SIGNS OF BUILDUP ON THE ROADWAYS AT THE ENTRANCE OF THE SITE. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO THIS MATTER AND IMMEDIATE ATTENTION IS ALWAYS REQUIRED.

DEWATERING OF EXCAVATIONS

1. DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT BE DISCHARGED DIRECTLY TO ANY DRAINAGE SYSTEMS OR WETLAND AREA. DISCHARGES SHALL BE DIRECTED TO A TREATMENT SYSTEM CONSISTING OF A SEDIMENT BASIN, STRAW BALE SEDIMENT BASIN, FILTER BAG SYSTEM OR OTHER APPROVED METHOD TO FILTER THE DISCHARGE WATER AND PREVENT EROSION.
2. ALL DEWATERING DRAINAGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES MUST FIRST OBTAIN ANY APPLICABLE DEWATERING DRAINAGE PERMIT. SUCH DISCHARGES SHALL COMPLY WITH THE MUNICIPAL REQUIREMENTS, UNITED STATES ENVIRONMENTAL PROTECTION AGENCY, MASSACHUSETTS DEP AND OTHER APPROPRIATE AGENCIES.
3. UNDER NO CIRCUMSTANCE SHALL DEWATERING DRAINAGE BE DISCHARGED INTO A SANITARY SEWER.

SOIL STOCKPILES

1. STOCKPILES OF SOIL MATERIALS SHALL BE SURROUNDED BY PROPER SILT FENCING, FIBER LOGS, OR STAKED STRAW BALES.
2. STOCKPILES THAT ARE TO BE IN PLACE FOR EXTENDED PERIODS OF TIME (MORE THAN 30 DAYS) SHALL BE COVERED OR OTHERWISE TEMPORARILY STABILIZED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

CATCH BASIN INLET PROTECTION

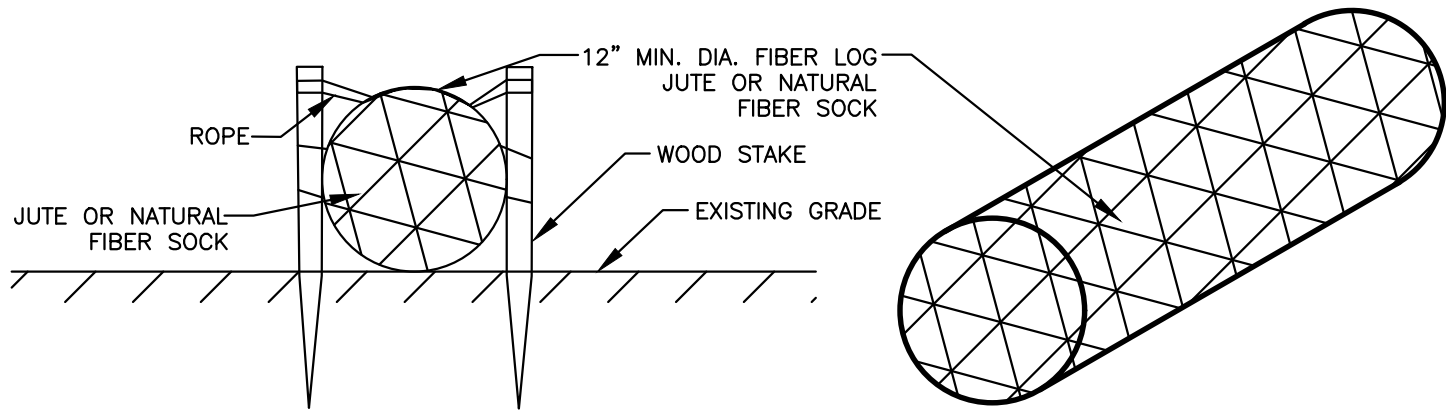
1. CATCH BASINS WITHIN THE WORK AREA OR THAT WILL RECEIVE RUNOFF FROM THE WORK AREA SHALL BE PROTECTED WITH A SILT SACK AND OR OTHER APPROVED INSTALLATION TO MINIMIZE THE SEDIMENT LOAD TO THE BASIN.

DUST CONTROL

1. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES DURING SITE WORK TO MINIMIZE WIND BLOWN DUST FROM EXPOSED SOIL SURFACES. MEASURES INCLUDE BUT ARE NOT LIMITED TO:
- SPRINKLING WATER ON EXPOSED SURFACES
  - APPLICATION OF TEMPORARY COVER SUCH AS HYDRO MULCH AND TACIFIER, STRAW MATTING, JUTE NETTING ETC.

SUBSURFACE INFILTRATION SYSTEM PROTECTION

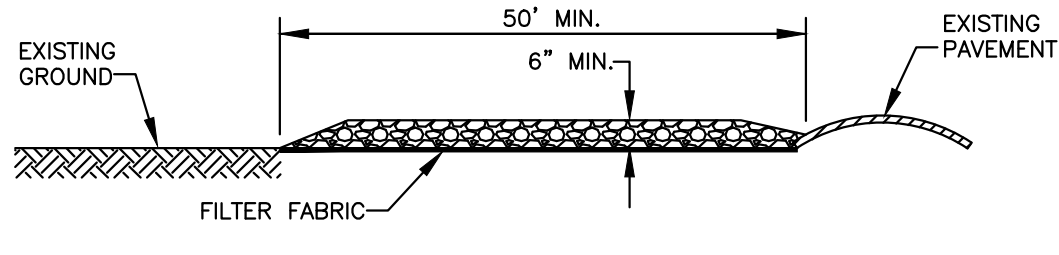
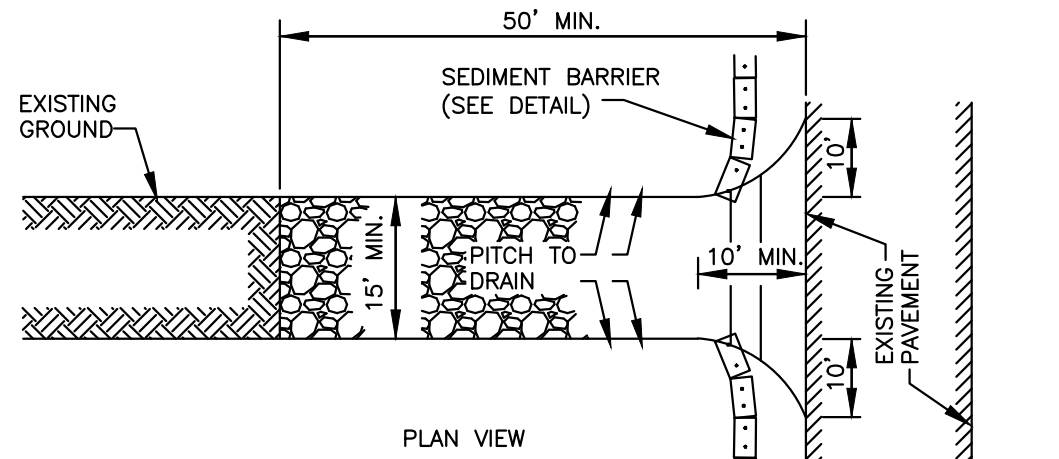
1. STORMWATER FROM THE DISTURBED CONSTRUCTION SITE SHALL NOT BE DISCHARGED INTO ANY EXISTING OR PROPOSED INFILTRATION SYSTEM(S) UNTIL THE AREA BEING DRAINED IS FULLY STABILIZED AND CLEAN. UNTIL THEN, THE INFILTRATION SYSTEM(S) SHALL REMAIN OFF-LINE AND PROTECTED. THE CONTRACTOR SHALL PROVIDE TEMPORARY BY-PASS SYSTEMS AS NECESSARY TO PREVENT CONSTRUCTION SITE RUNOFF FROM ENTERING THE INFILTRATION SYSTEM(S).



INSTALLATION NOTES FOR FIBER LOGS:

1. LAY THE FIBER LOG AT THE UPHILL BASE OF THE SILT FENCE.
2. INSTALL APPROXIMATELY 4-6 WOOD STAKES THROUGH THE TWINE/NETTING ALONG THE FIBER LOG AS NEEDED TO HOLD THE LOG IN PLACE.
3. DRIVE THE STAKE INTO THE GROUND DEEP ENOUGH TO HOLD THE LOG.
4. IN PAVED AREAS, SECURE FIBER LOG WITH CONCRETE BLOCKS OR SAND BAGS.
5. THE FILLING OF THE FIBER LOG MAY BE SHREADED STRAW, COIR, COMPOST OR OTHER APPROVED MATERIAL.
6. FIBER LOG SHALL BE 12 INCHES (MIN) IN DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS.

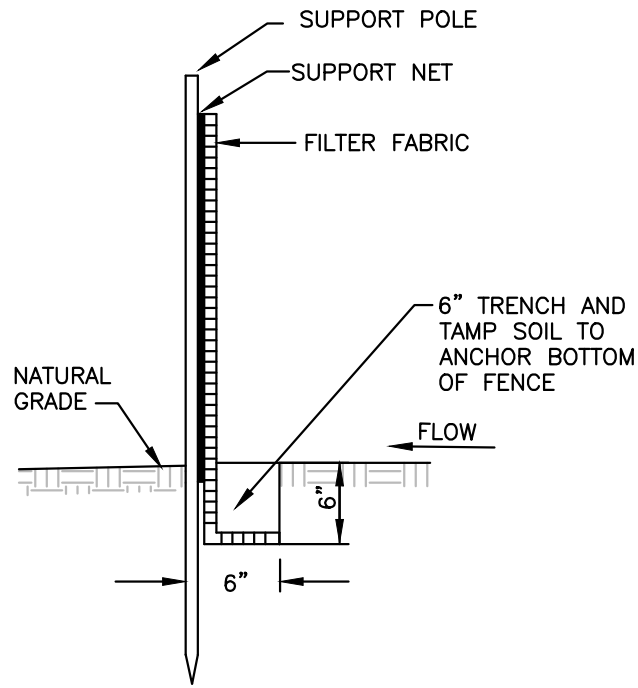
SEDIMENT CONTROL BARRIER (FIBER LOG)  
(NO SCALE)



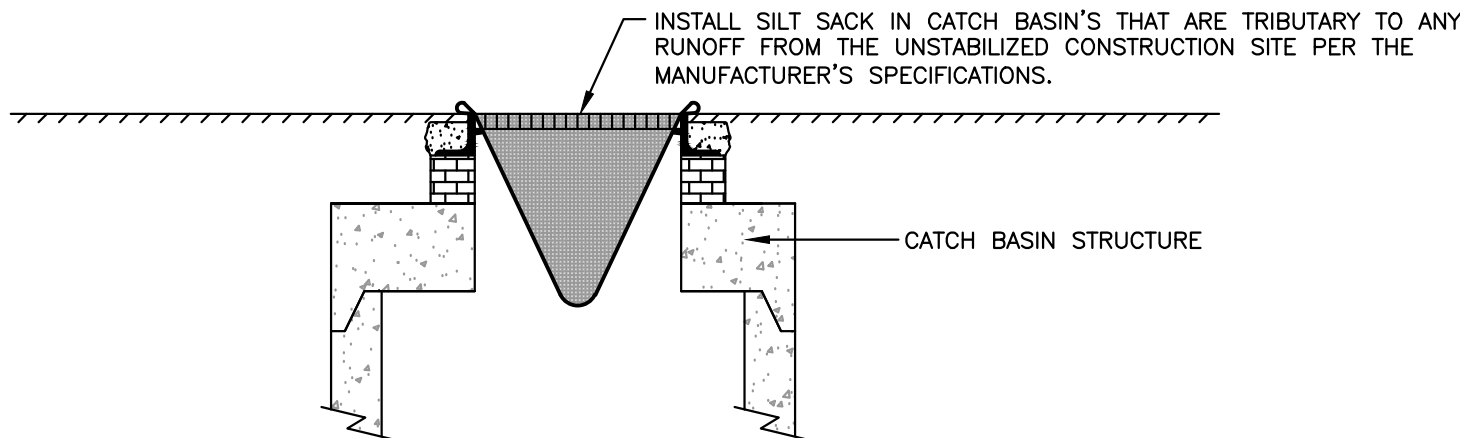
CONSTRUCTION SPECIFICATIONS:

1. STONE SIZE - USE 1 1/2" TO 3 1/2" WASHED, ANGULAR STONE. (SEE SPECIFICATIONS)
2. THICKNESS - NOT LESS THAN SIX (6) INCHES.
3. WIDTH - FIFTEEN (15) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
4. FILTER FABRIC - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. USE MIRAFI HP-370 OR EQUAL.
5. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF WAY MUST BE REMOVED IMMEDIATELY.
6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.

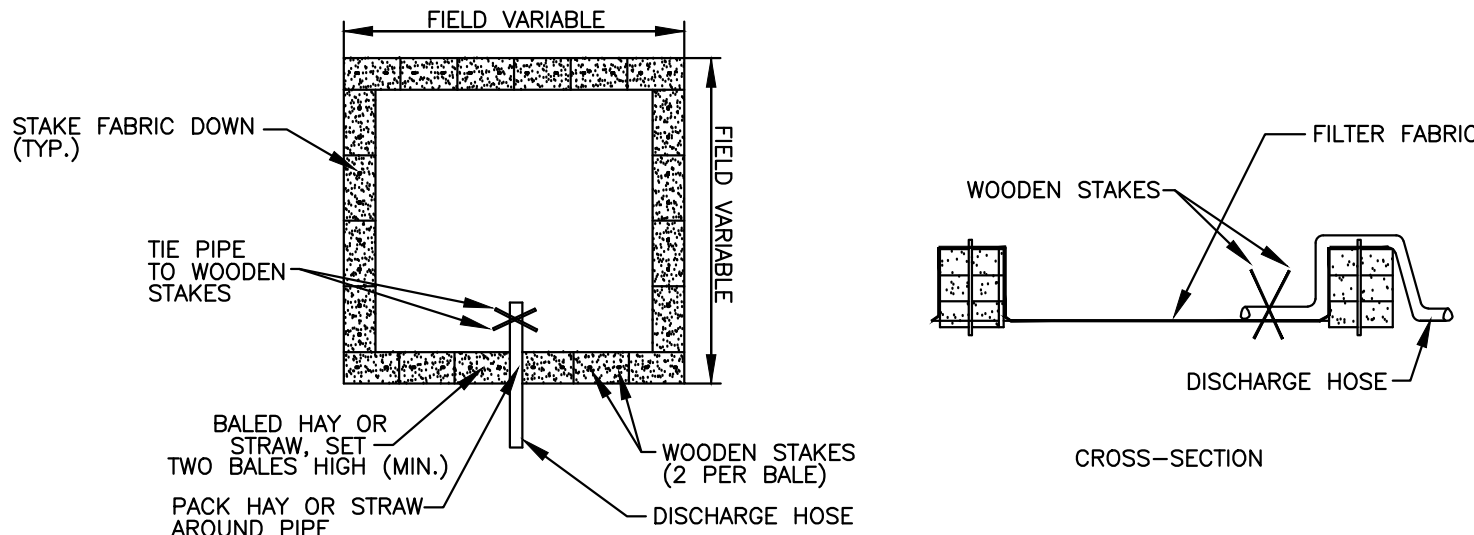
STONE TRACKING PAD (CONSTRUCTION ENTRANCE)  
(NO SCALE)



SILT FENCE INSTALLATION  
(NO SCALE)



SILT SACK DETAIL  
(NO SCALE)



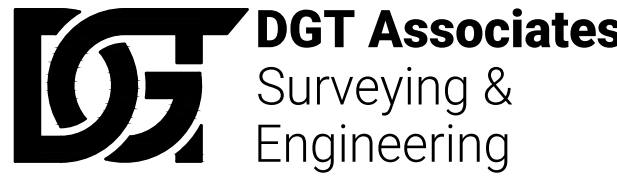
NOTE: NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS

PLAN VIEW

DEWATERING OF EXCAVATIONS NOTES:

1. DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT DISCHARGE DIRECTLY TO EXISTING DRAIN SYSTEMS. THE DISCHARGES SHALL BE DIRECTED INTO A CONSTRUCTED SEDIMENT BASIN OR A STRAW BALE SETTLING BASIN.

STRAW BALE SETTLING BASIN  
(NO SCALE)



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781-455-9980

LANDSCAPE ARCHITECT

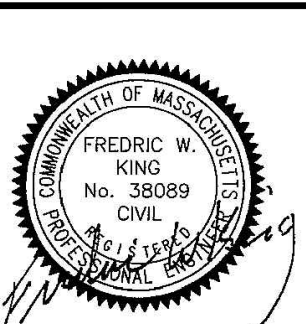
MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC  
732 EAST BROADWAY, SUITE #3  
BOSTON, MA 02127  
203-592-4788

PREPARED FOR / APPLICANT:

SAYED HALABI

ISSUED FOR:

PERMITTING PURPOSES




NO.	APP	DATE	DESCRIPTION
-----	-----	------	-------------

DATE: APRIL 15, 2020

SCALE: AS NOTED

DESIGNED:	DRAFTED:	CHECKED:
KMR	KMR	FWK

PROJECT TITLE:

PERMIT  
SITE PLAN

1363 - 1365 MAIN STREET  
WALPOLE, MASSACHUSETTS 02081

SHEET TITLE:

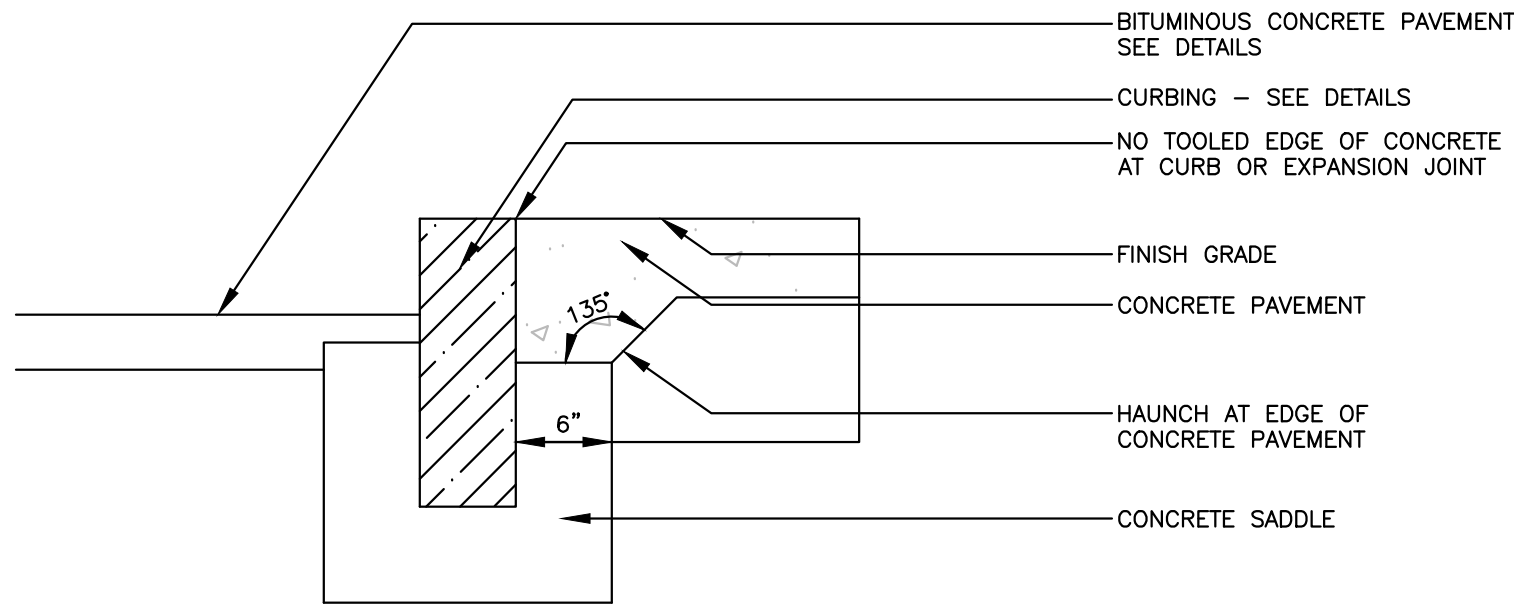
EROSION AND  
SEDIMENT  
CONTROL NOTES  
AND DETAILS

SHEET:  
5 OF 10

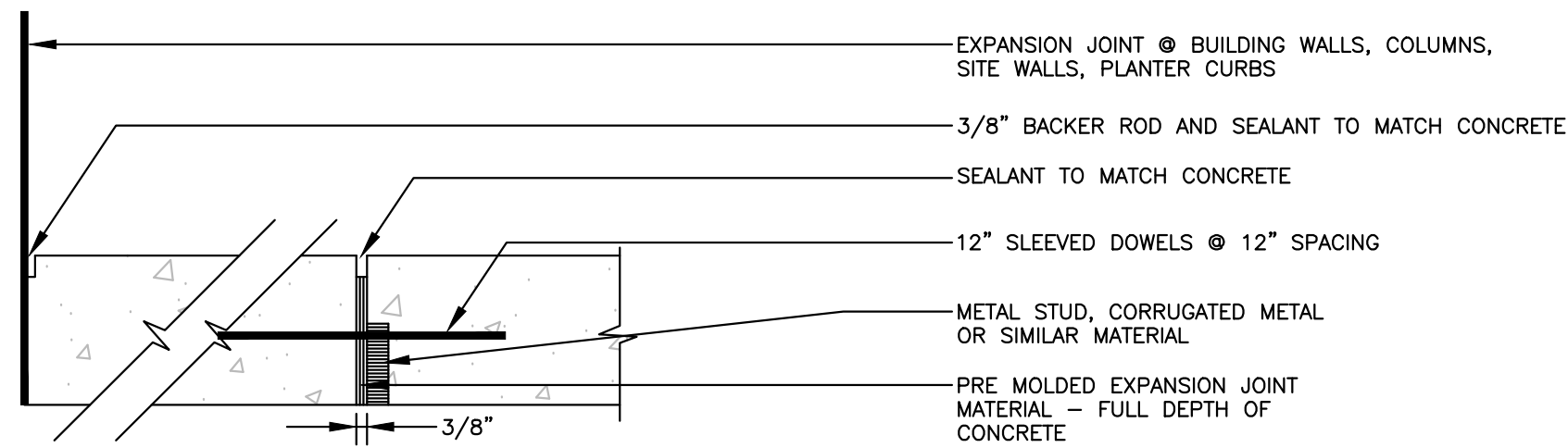
PROJECT NO.:  
25551

CE-05

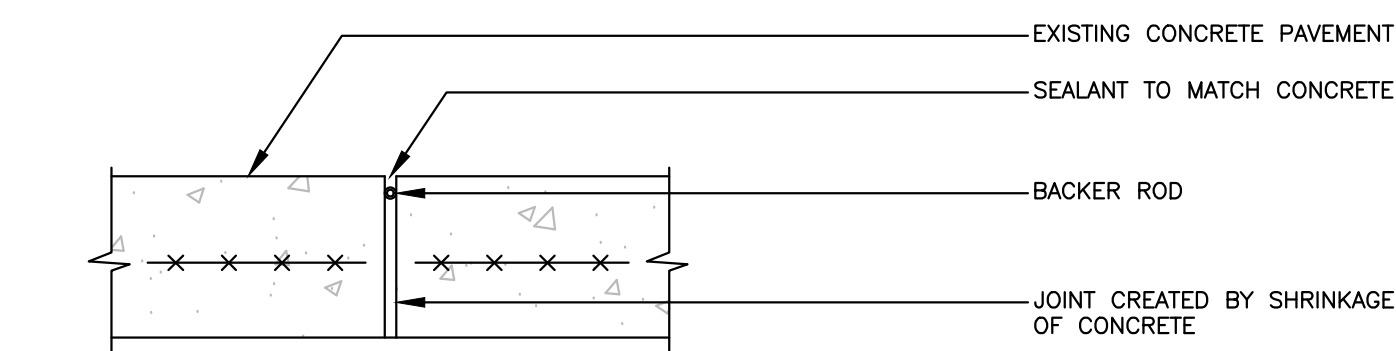
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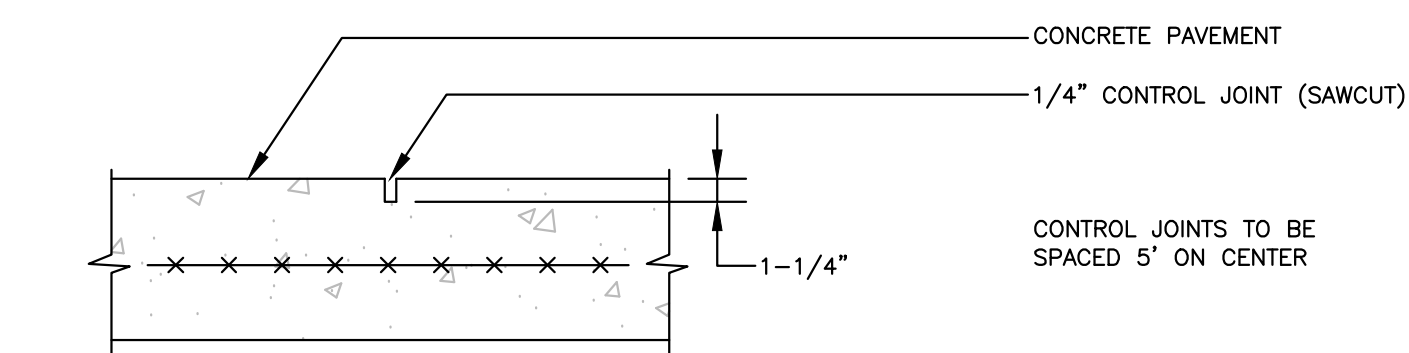
E CURB EDGE



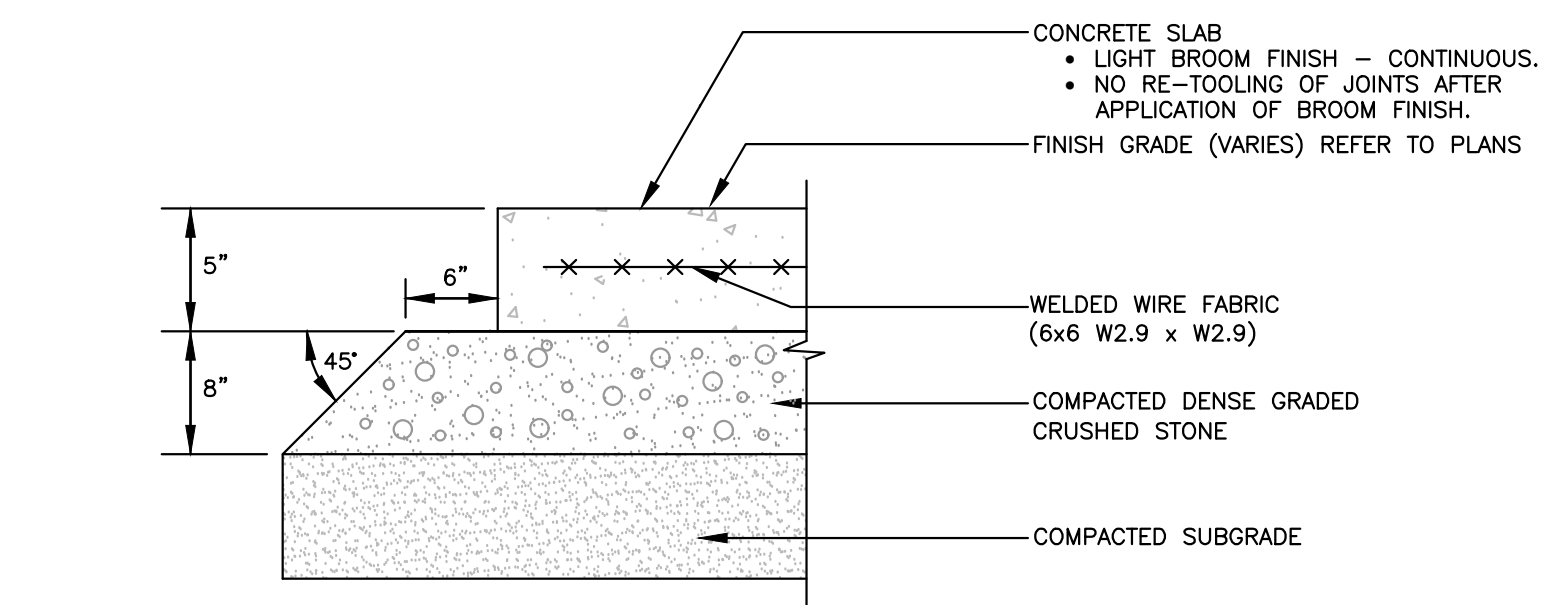
D EXPANSION JOINT



C CONSTRUCTION JOINT



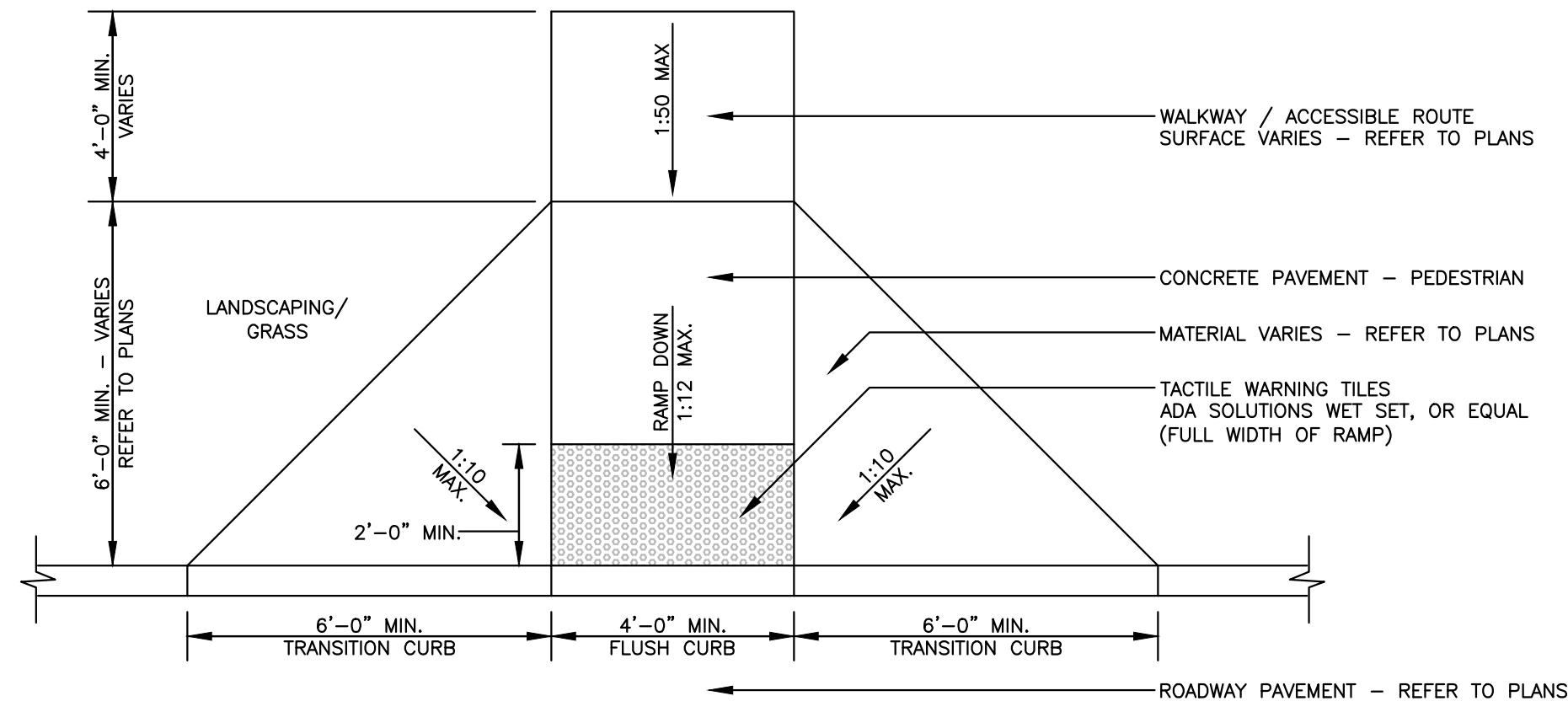
B CONTROL JOINT



A SECTION

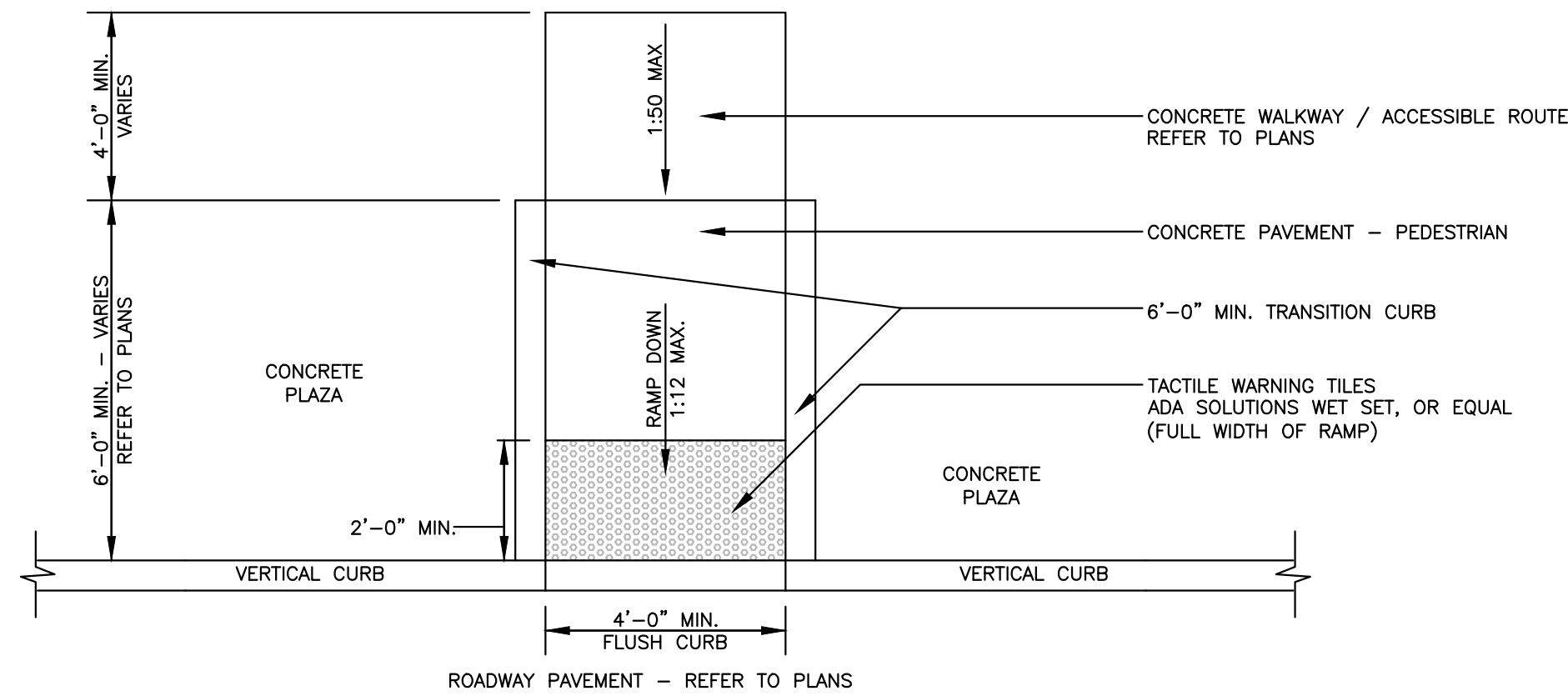
## PEDESTRIAN CONCRETE SIDEWALK

(NO SCALE)



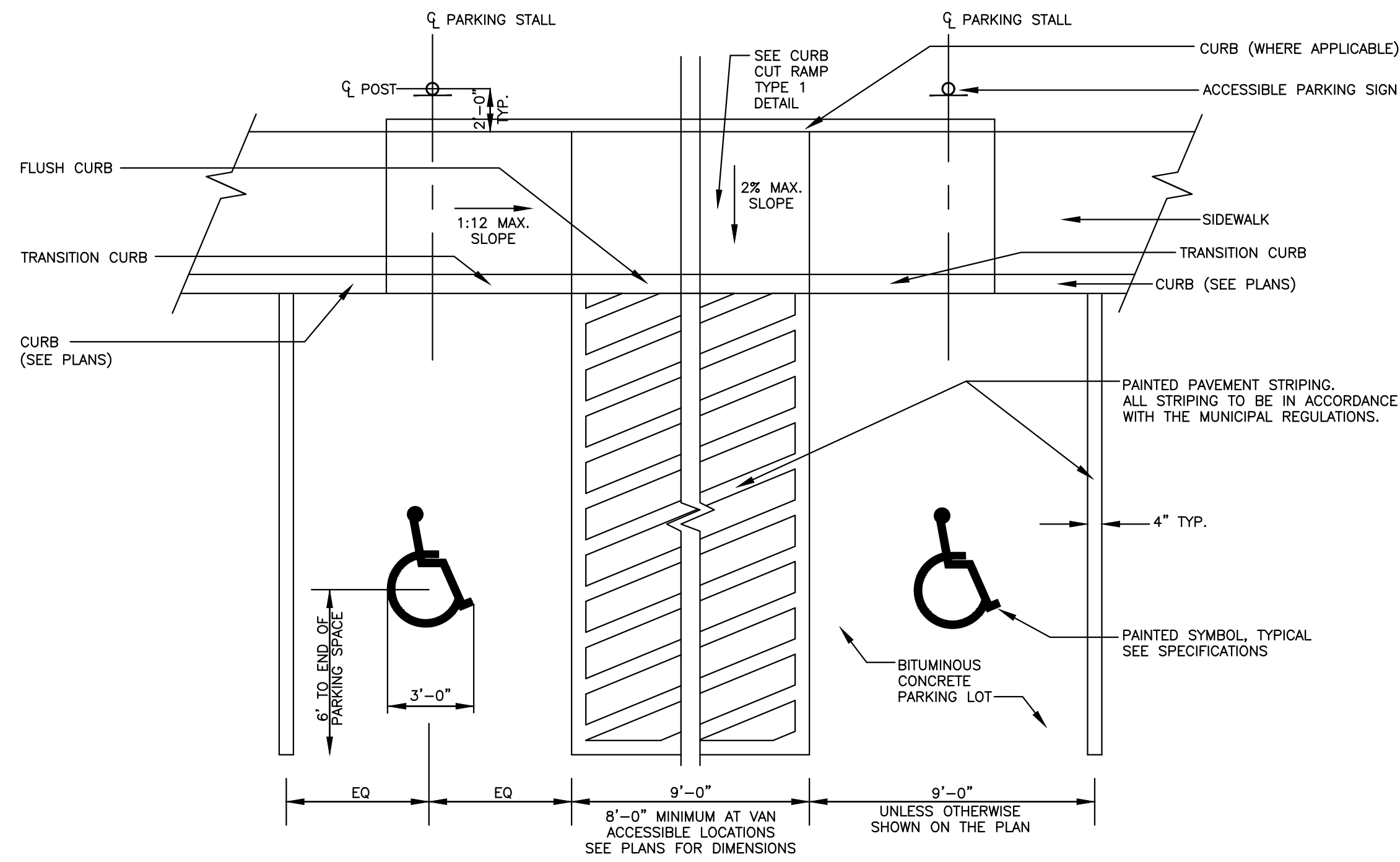
## CURB CUT RAMP - TYPE 1

(NO SCALE)



## CURB CUT RAMP - TYPE 2

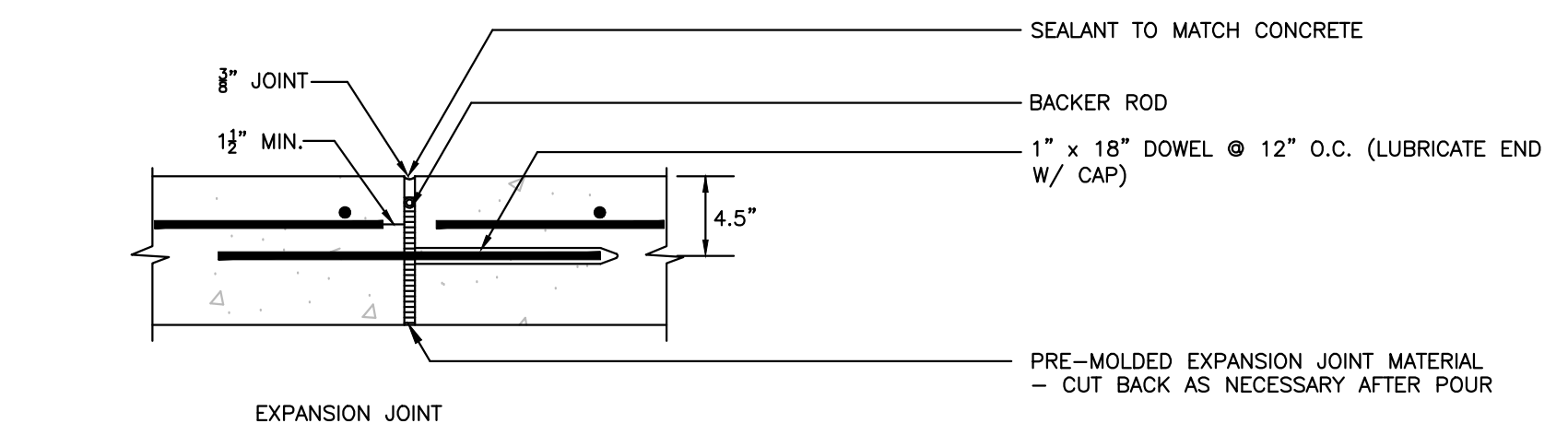
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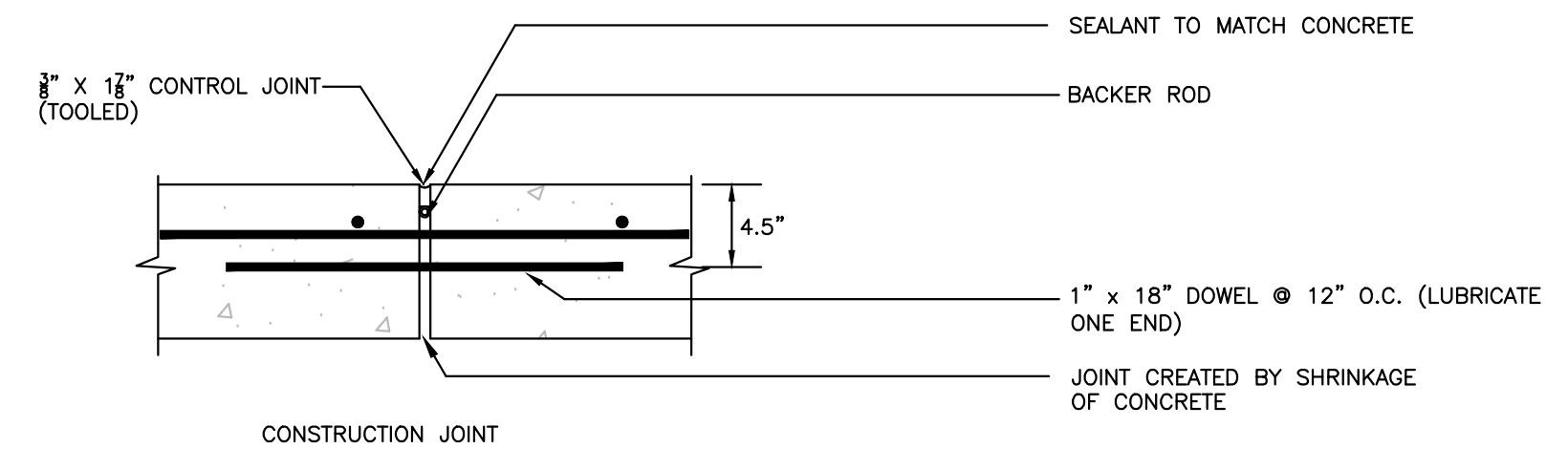
- NOTES:
- ON CURVED ROADS AND PARKING AREAS, DIMENSIONS SHOWN ARE MINIMUM.
  - THIS DETAIL IS GENERIC FOR GENERAL PURPOSES. ADAPT AS NECESSARY TO SITE SPECIFIC REQUIREMENTS.

## ACCESSIBLE PARKING STALL

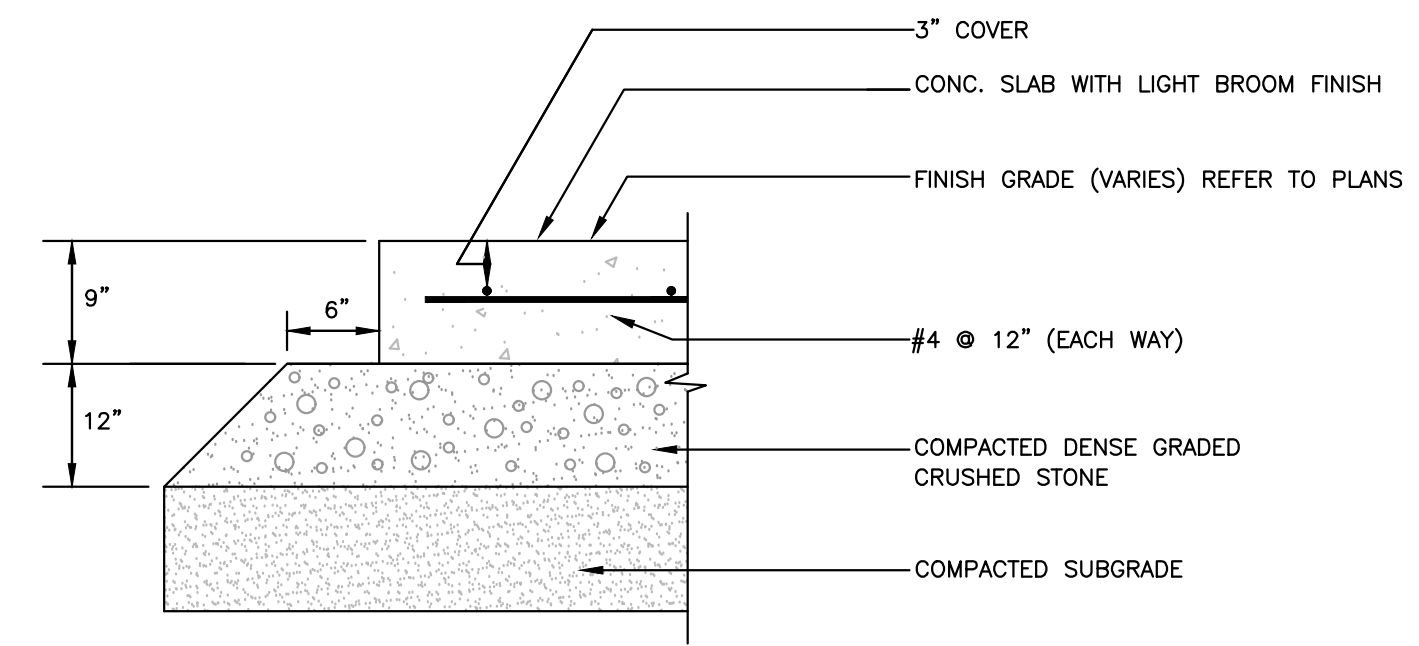
(NO SCALE)



EXPANSION JOINT



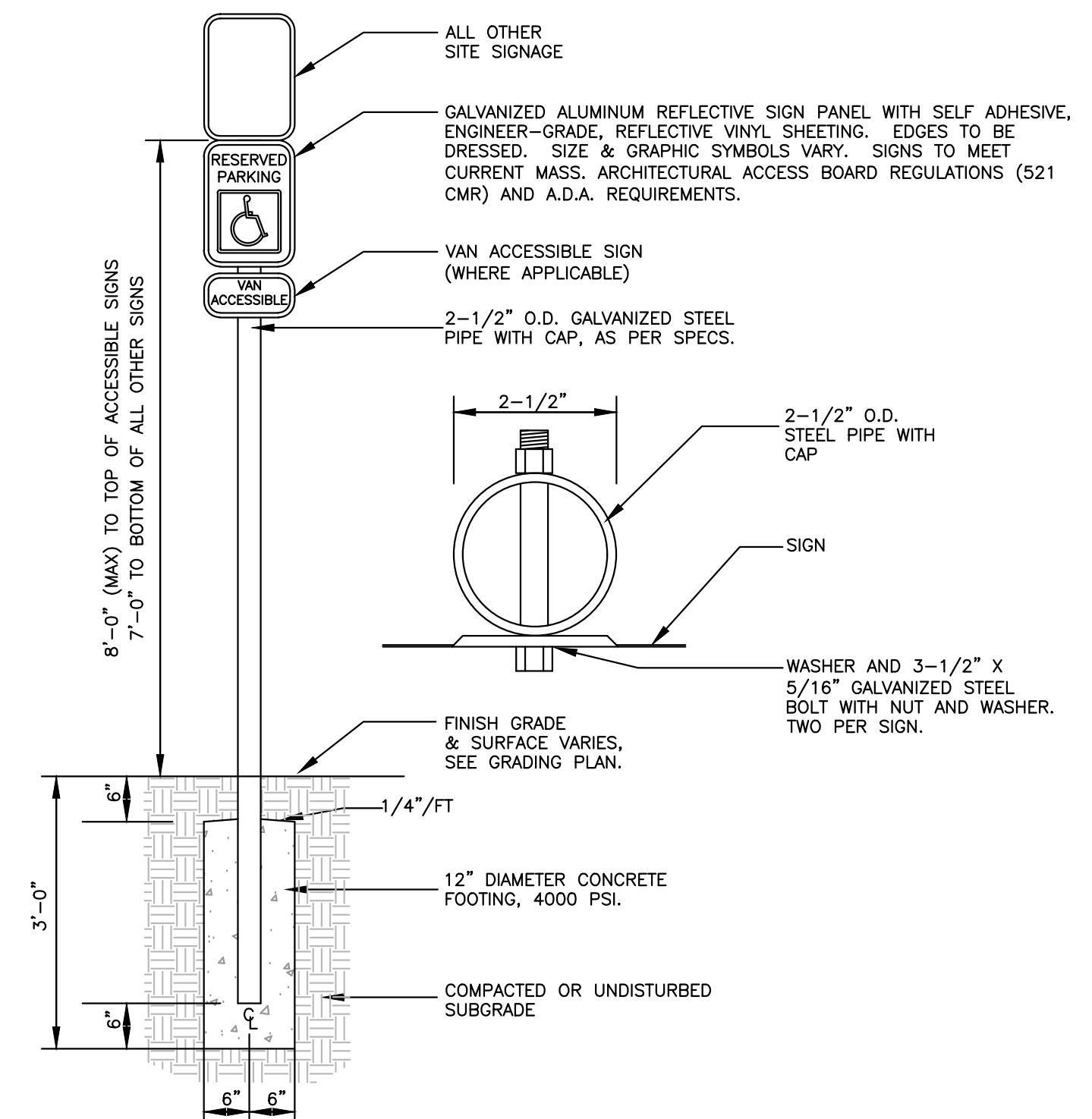
CONSTRUCTION JOINT



- EXPANSION JOINTS 20'-0" O.C. UNLESS SHOWN OTHERWISE.
- CONTROL JOINTS 5'-0" O.C. UNLESS SHOWN OTHERWISE.
- TOOLED EDGES AND JOINTS, ALL PANELS.
- WHERE SAWCUT JOINT IS REQUIRED, DEPTH TO BE 1/2"
- WHERE EXPANSION JOINT ABUTS WALL OR OTHER VERTICAL SURFACE, DELETE EXPANSION SLEEVE AND DOWEL.
- ALL TOOL MARKS ARE TO BE SMOOTHED OUT BY A LIGHT BROOM FINISH AFTER APPLICATION.
- VEHICULAR CONCRETE SHALL BE 4000 PSI CONCRETE, 7% AIR ENTRAINMENT.

## VEHICULAR CONCRETE PAVEMENT FOR THE DUMPSTER PAD

(NO SCALE)



## TYPICAL SIGN

(NO SCALE)

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### LANDSCAPE ARCHITECT

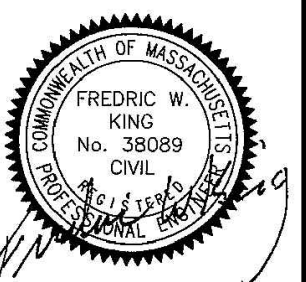
MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC  
732 EAST BROADWAY, SUITE #3  
BOSTON, MA 02127  
203-592-4788

PREPARED FOR / APPLICANT:

**SAYED HALABI**

ISSUED FOR:

**PERMITTING PURPOSES**



NO.	APP	DATE	DESCRIPTION

DATE: **APRIL 15, 2020**

SCALE: **AS NOTED**

DESIGNED:	DRAFTED:	CHECKED:
KMR	KMR	FWK

PROJECT TITLE:

## PERMIT SITE PLAN

**1363 - 1365 MAIN STREET  
WALPOLE, MASSACHUSETTS 02081**

SHEET TITLE:

## SITEWORK DETAILS #1

SHEET:  
**6 OF 10**

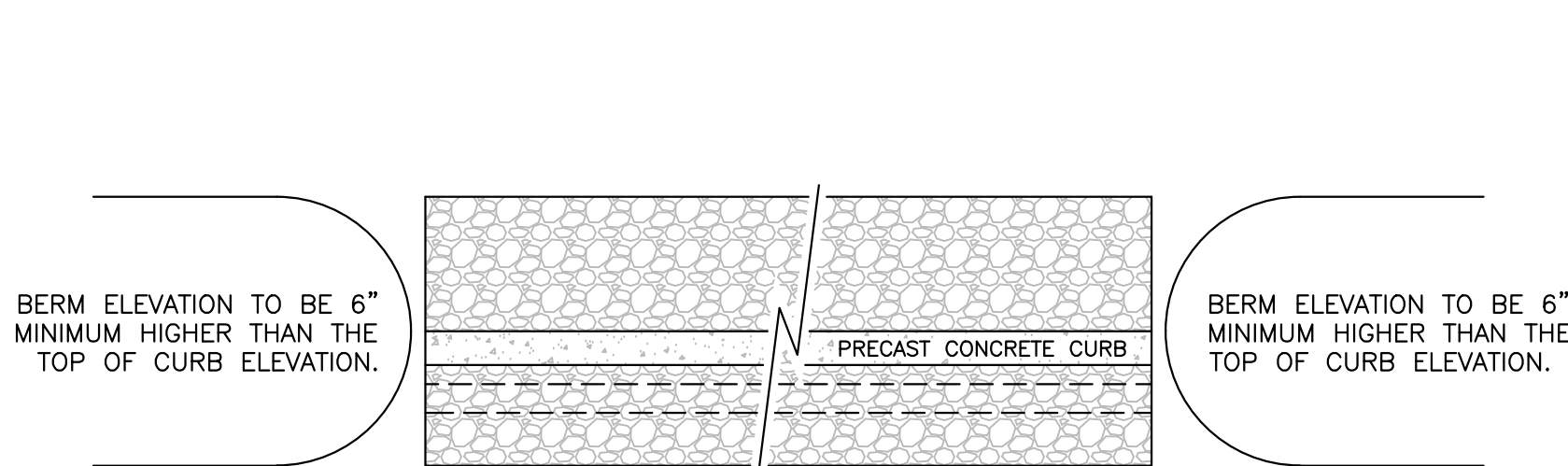
PROJECT NO.:  
**25551**

**CE-06**

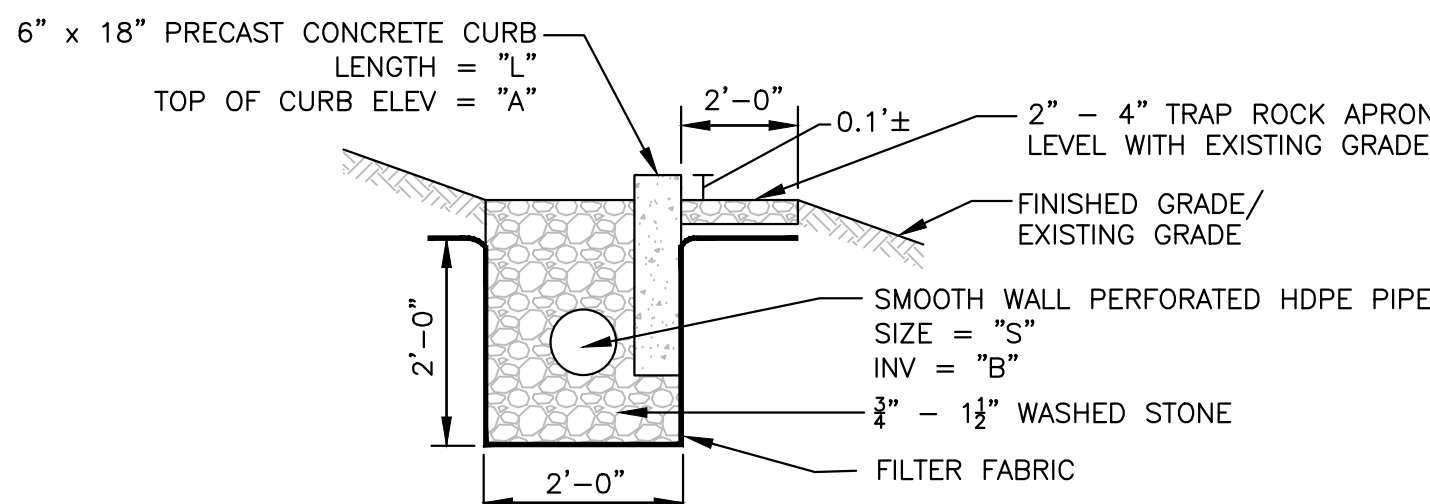
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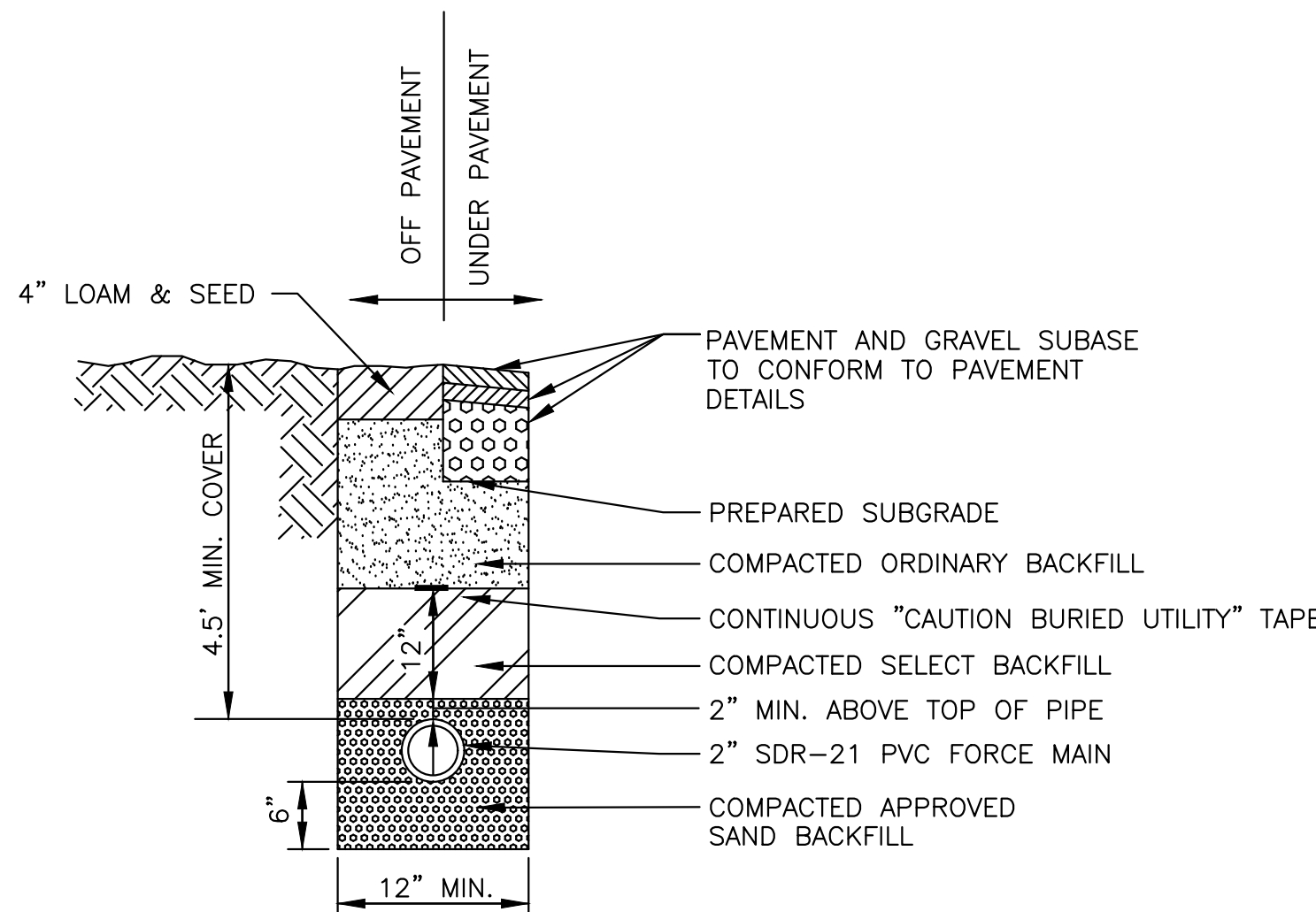
PLAN VIEW



STRUCTURE	L	S	A	B
LEVEL SPREADER #4	10'	10'	192.5	190.4

### LEVEL SPREADER DETAIL

(NO SCALE)

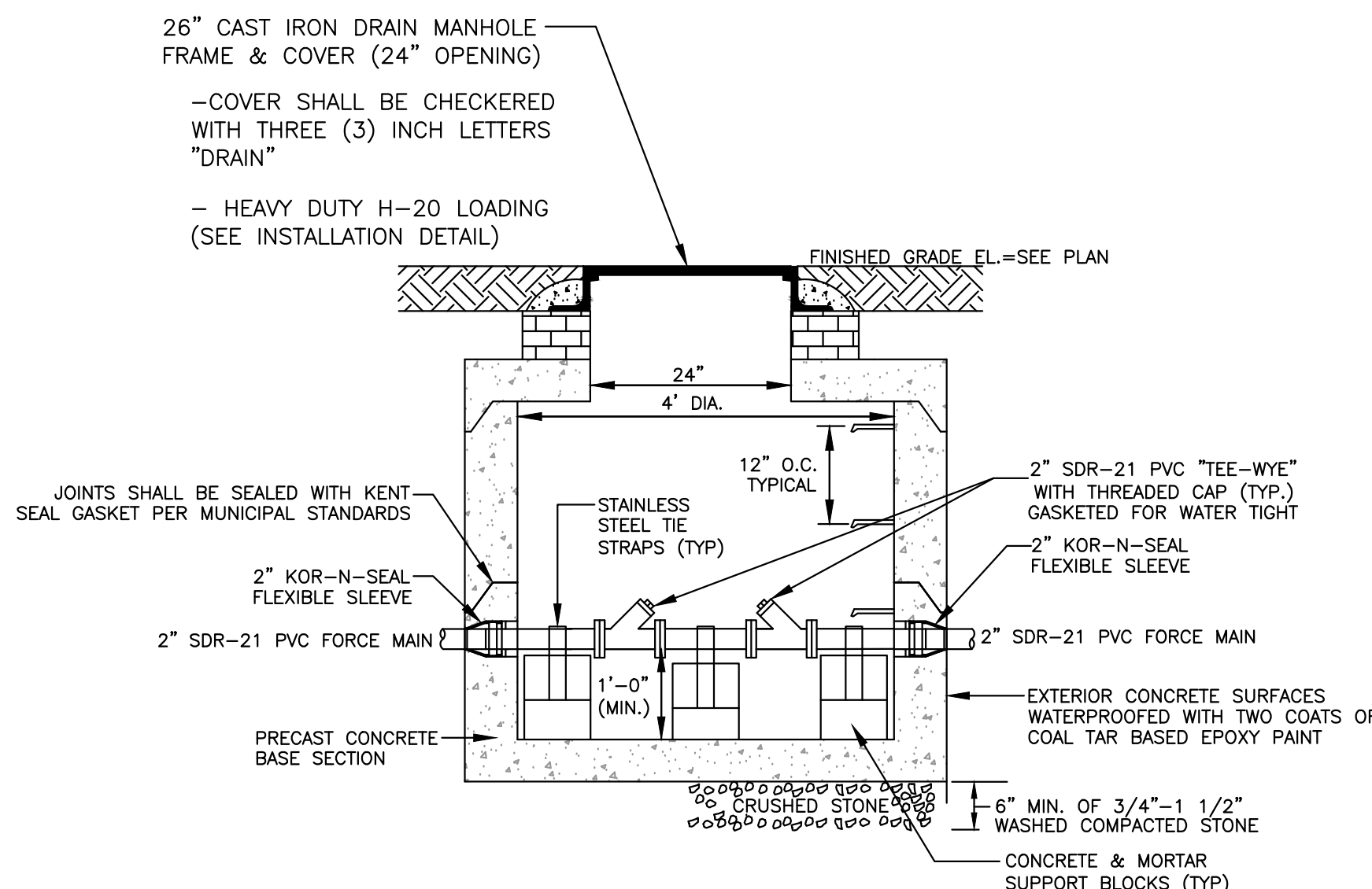


### NOTES:

- TRENCH BACKFILL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS CONTAINED IN MASSACHUSETTS HIGHWAY DEPARTMENT, STANDARDS AND SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- SAND BACKFILL FOR FORCE MAIN BEDDING SHALL CONFORM WITH M1.04.0 TYPE B "SAND BORROW".
- SELECT BACKFILL SHALL BE ON-SITE SOIL OR IMPORTED BACKFILL CONFORMING WITH M1.02.0 (a) "SPECIAL BORROW" WITH NO STONES LARGER THAN 3 INCHES.
- ORDINARY BACKFILL SHALL CONSIST OF ON-SITE OR IMPORTED BACKFILL MEETING M1.01.0 WITH NO STONES LARGER THAN 6 INCHES.

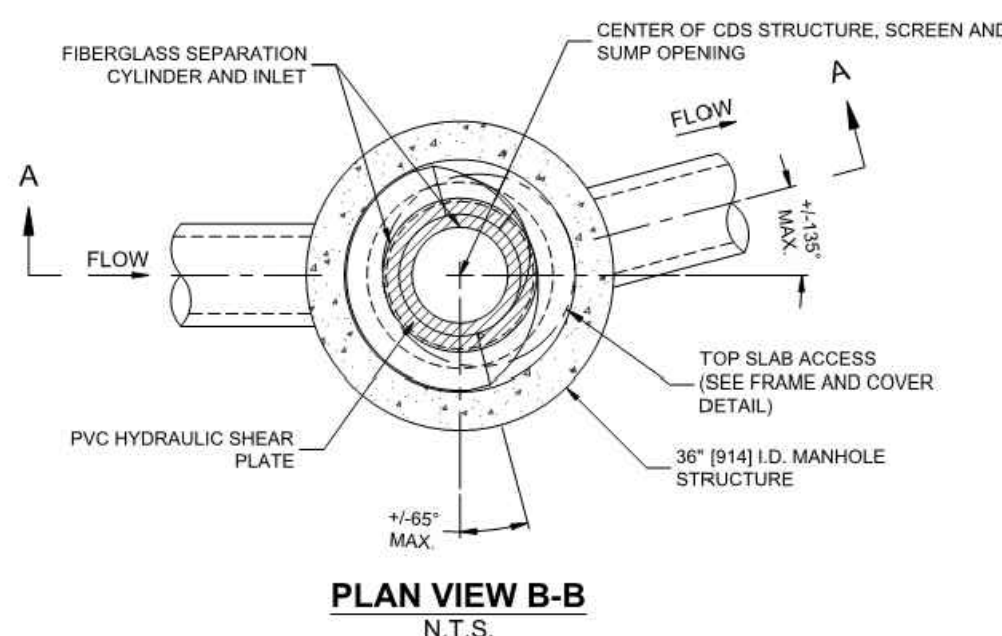
### TYPICAL FORCE MAIN BEDDING DETAIL

(NO SCALE)

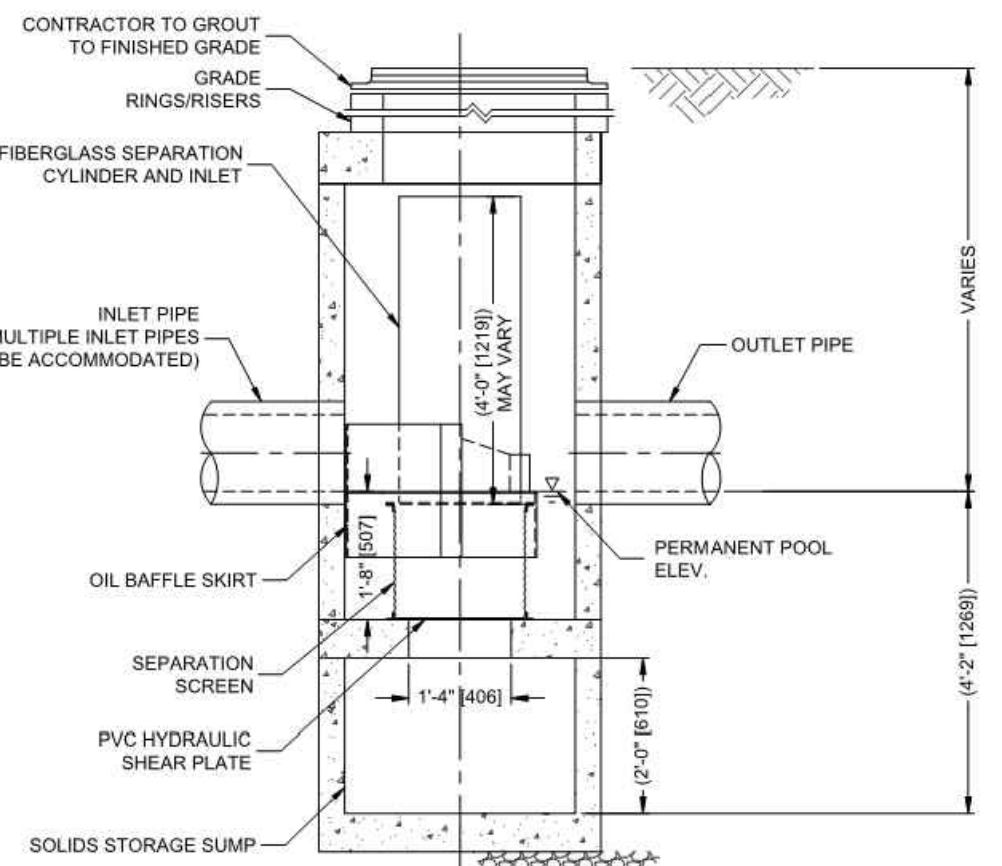


### FORCE MAIN CLEANOUT MANHOLE

(NO SCALE)



PLAN VIEW B-B  
N.T.S.

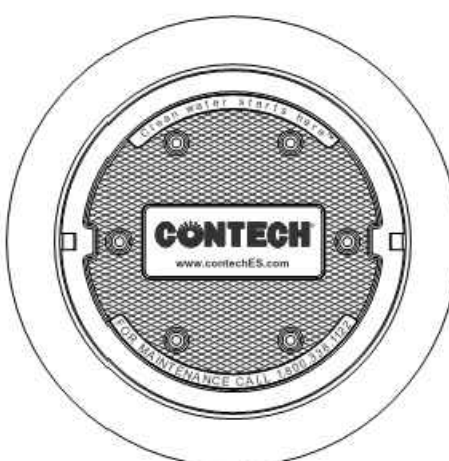


ELEVATION A-A  
N.T.S.



### CDS1515-3-C DESIGN NOTES

CDS1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CDS1515-3-C CONFIGURATION IS SHOWN.



FRAME AND COVER  
(DIAMETER VARIES)  
N.T.S.

### SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)			
PEAK FLOW RATE (CFS OR L/s)			
RETURN PERIOD OF PEAK FLOW (YRS)			
SCREEN APERTURE (2400 OR 4700)			
PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
RIM ELEVATION			
ANTI-FLOTATION BALLAST	WIDTH	HEIGHT	
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

### GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO H20 LOAD RATING, ASSUMING EARTH COVER OF 6'-2" AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
- IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

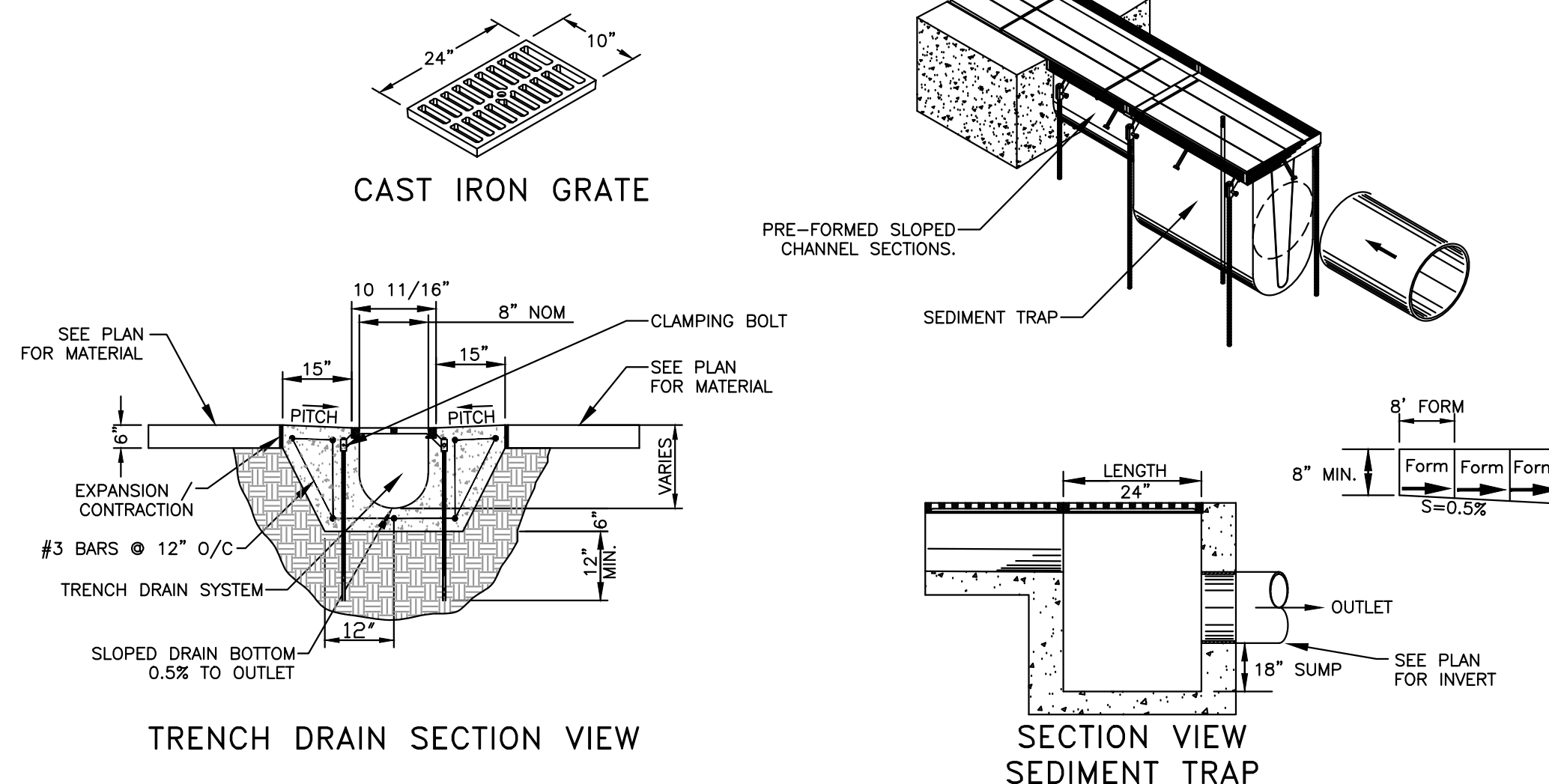
### INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



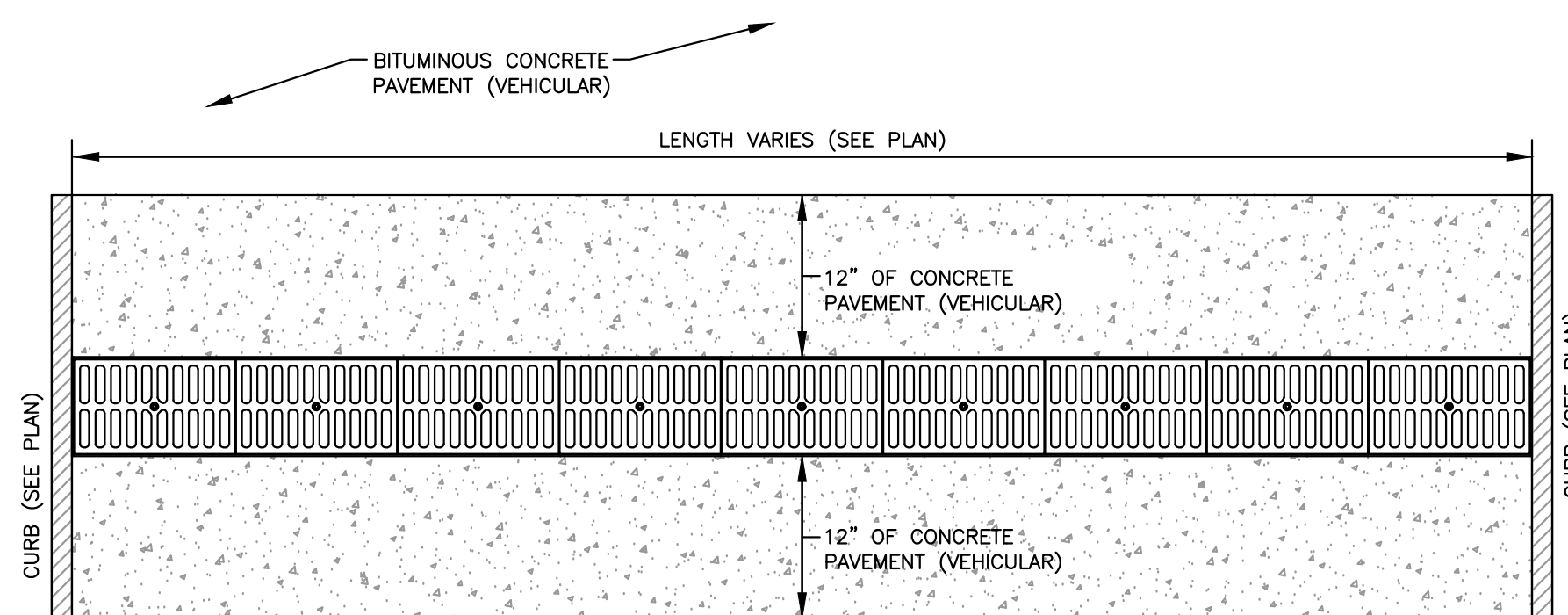
9025 Centre Pointe Dr., Suite 402, West Chester, OH 45386  
800-338-1122 513-645-7000 513-645-7993 FAX

CDS1515-3-C  
ONLINE CDS  
STANDARD DETAIL



TRENCH DRAIN SECTION VIEW

SECTION VIEW  
SEDIMENT TRAP



PLAN VIEW

### TRENCH DRAIN DETAIL

(NO SCALE)

- NOTES:
- TRENCH DRAIN AND CAST IRON GRATE SHALL BE HEAVY DUTY FOR H-20 LOADING.

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### ARCHITECT

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### LANDSCAPE ARCHITECT

MICHAEL D'ANGELO  
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BOSTON, MA 02127  
203-592-4788

PREPARED FOR / APPLICANT:

**SAYED HALABI**

ISSUED FOR:

### PERMITTING PURPOSES



NO.	APP	DATE	DESCRIPTION

DATE: **APRIL 15, 2020**

SCALE: **AS NOTED**

DESIGNED:	DRAFTED:	CHECKED:
<b>KMR</b>	<b>KMR</b>	<b>FWK</b>

PROJECT TITLE:

### PERMIT SITE PLAN

**1363 - 1365 MAIN STREET  
WALPOLE, MASSACHUSETTS 02081**

SHEET TITLE:

### SITEWORK DETAILS #3

SHEET:  
**8 OF 10**

PROJECT NO.:  
**25551**

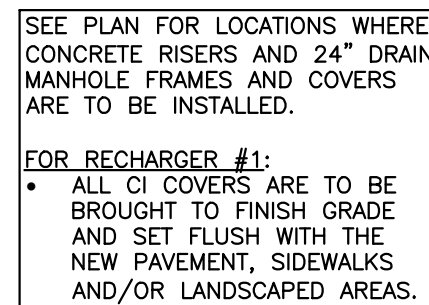
**CE-08**

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## DRAINAGE PUMP STATION DETAIL & DUPLEX PUMP SYSTEM & PUMP STATION SPECIFICATIONS

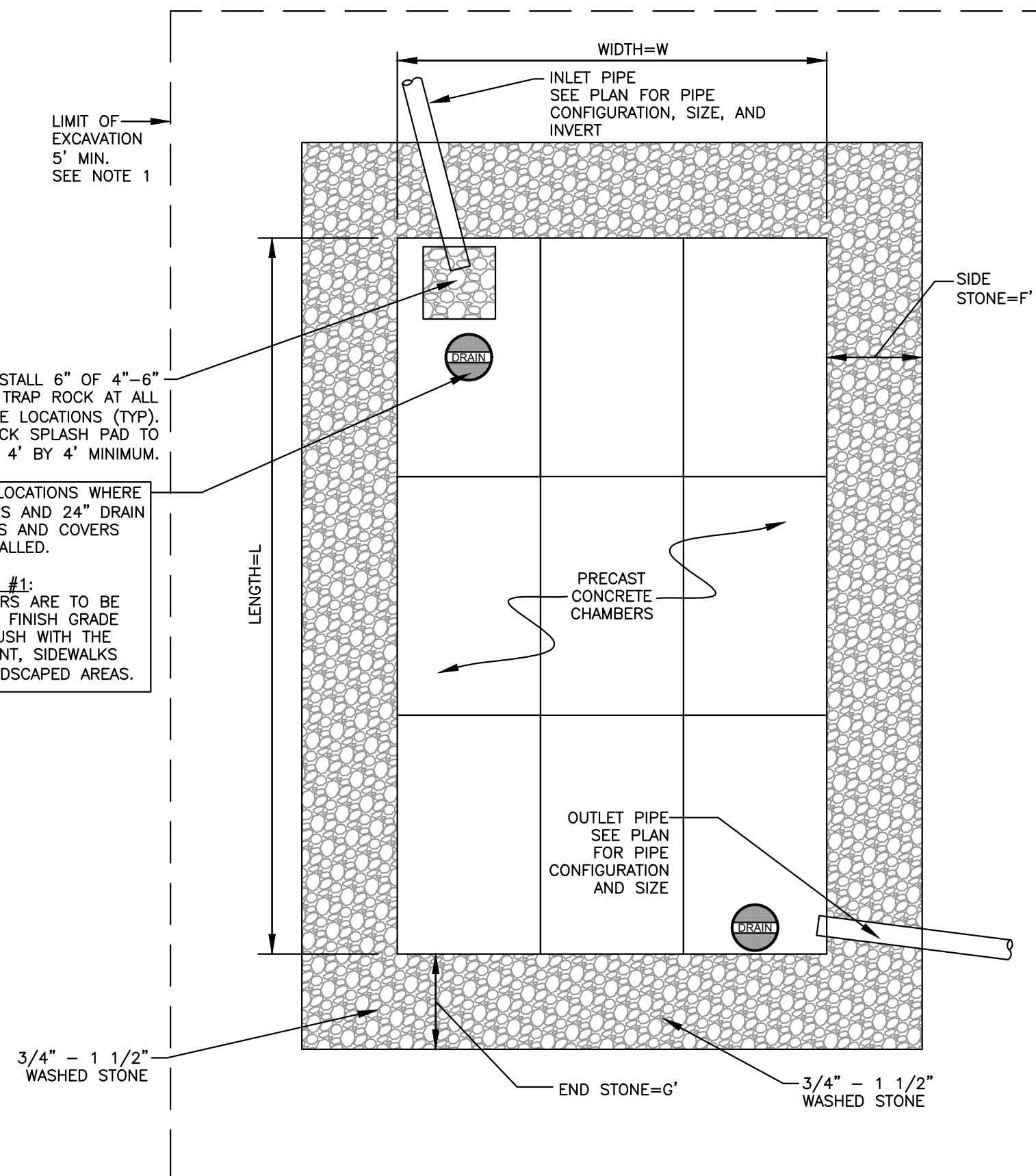
(NO SCALE)



SYSTEM	A	B	C	D	E	F	G	L	W	TH	IH	MODEL FOR SIZING
RECHARGER #1	189.00	189.50	SEE PLAN	SEE PLAN	193.00	12"	12"	40'	32'	50"	42"	RETAIN-IT 3.5 CHAMBERS

GENERAL NOTES:

1. ALL TOPSOIL (A-HORIZONTAL), SUBSOIL (B-HORIZONTAL) AND DELETERIOUS MATERIAL, IF ANY, MUST BE EXCAVATED AND REMOVED BELOW THE BOTTOM ELEVATION OF THE LEACHING GALLEY, LEACHING TO A DISTANCE OF 6 FEET FROM ALL SIDES OF THE LEACHING GALLEY. EXCAVATE DOWN TO 6 INCHES BELOW THE SURFACE OF THE NATURAL PERMEABLE SOIL (C HORIZONTAL). BACKFILL AS REQUIRED WITH FREE DRAINING GRAVEL BORROW, FREE FROM FINES, CLAY, ORGANIC MATTER, AND LARGE BOULDERS. SEE SPECIFICATIONS.
2. ALL WASHED STONE MUST HAVE LESS THAN 0.2 PERCENT MATERIAL FINER THAN A NUMBER 200 SIEVE AS DETERMINED BY THE A.A.S.H.T.O. TEST METHODS T-11 AND T-27 (LATEST EDITION).
3. CONCRETE CHAMBERS SHALL BE DESIGNED FOR H-20 LOADING.
4. RECHARGER UNITS SHOWN ARE BASED ON RETAIN-IT 3.5 CHAMBERS.



## RECHARGER #1 DETAIL

(NO SCALE)

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## LANDSCAPE ARCHITECT

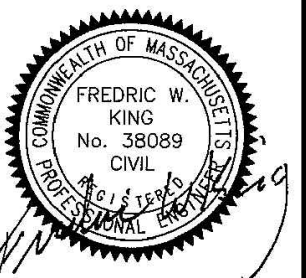
MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC  
732 EAST BROADWAY, SUITE #3  
BOSTON, MA 02127  
203-592-4788

PREPARED FOR / APPLICANT:

**SAYED HALABI**

ISSUED FOR:

## PERMITTING PURPOSES



NO.	APP	DATE	DESCRIPTION
-----	-----	------	-------------

DATE: **APRIL 15, 2020**SCALE: **AS NOTED**

DESIGNED: <b>KMR</b>	DRAFTED: <b>KMR</b>	CHECKED: <b>FWK</b>
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PROJECT TITLE:

# PERMIT SITE PLAN

**1363 - 1365 MAIN STREET  
WALPOLE, MASSACHUSETTS 02081**

SHEET TITLE:

## SITework DETAILS #4

SHEET:  
**9 OF 10**

PROJECT NO.:  
**25551**

# CE-09

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G:\Carlson Jobs\25551\Correspondence\To Client\2020-04-15 Site Plan\25551-Site Plan.dwg



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**LANDSCAPE ARCHITECT**

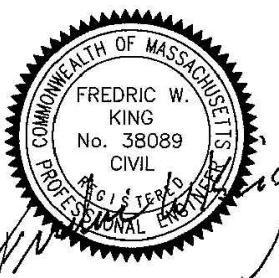
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203-592-4788

PREPARED FOR / APPLICANT:

**SAYED HALABI**

ISSUED FOR:

**PERMITTING PURPOSES**



NO.	APP	DATE	DESCRIPTION

DATE: **APRIL 15, 2020**

SCALE: **AS NOTED**

DESIGNED:	DRAFTED:	CHECKED:
<b>KMR</b>	<b>KMR</b>	<b>FWK</b>

PROJECT TITLE:

**PERMIT  
SITE PLAN**

**1363 - 1365 MAIN STREET  
WALPOLE, MASSACHUSETTS 02081**

SHEET TITLE:

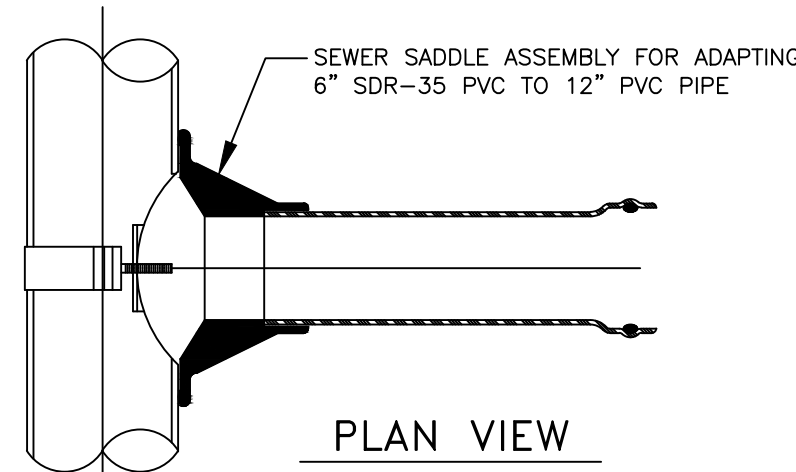
**SITEWORK  
DETAILS #5**

SHEET:  
**10 OF 10**

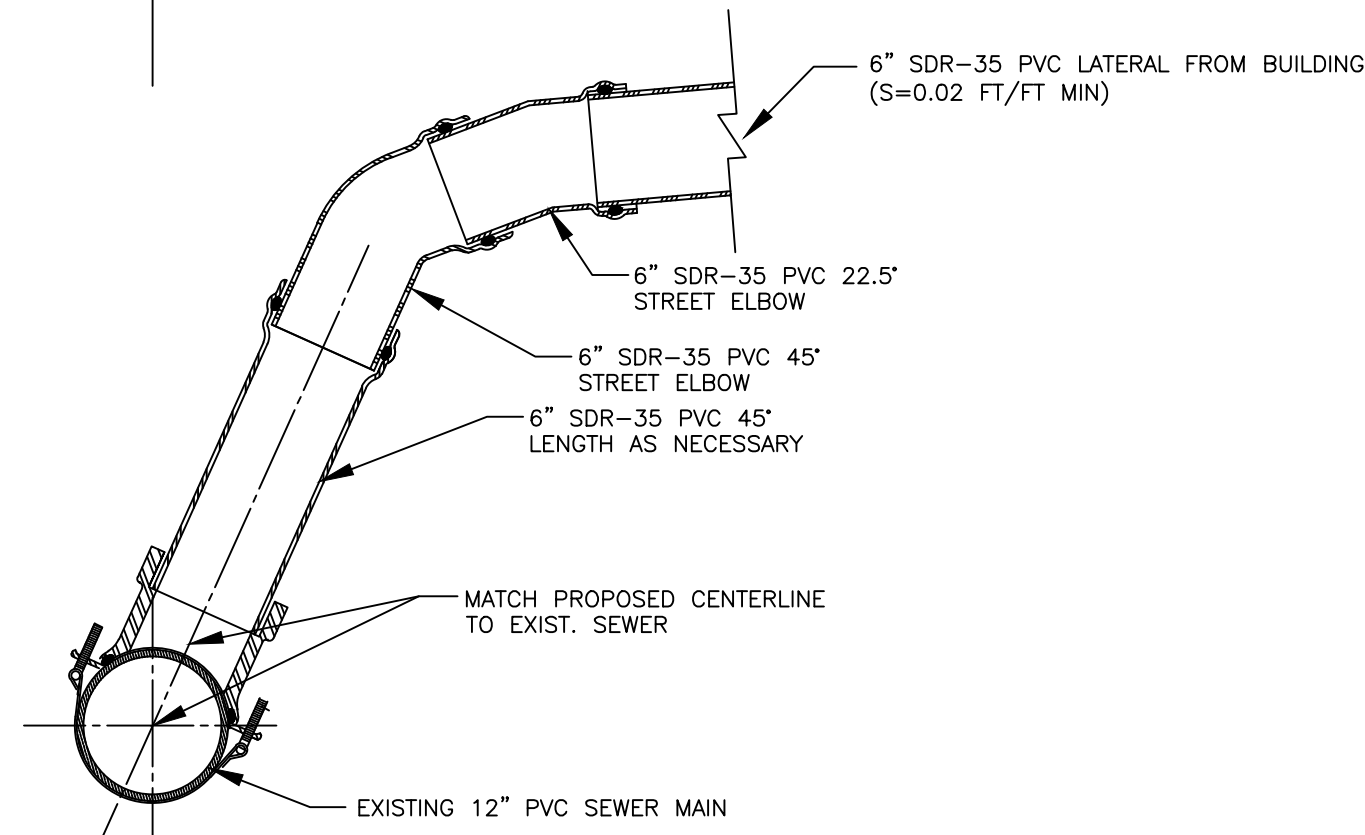
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**25551**

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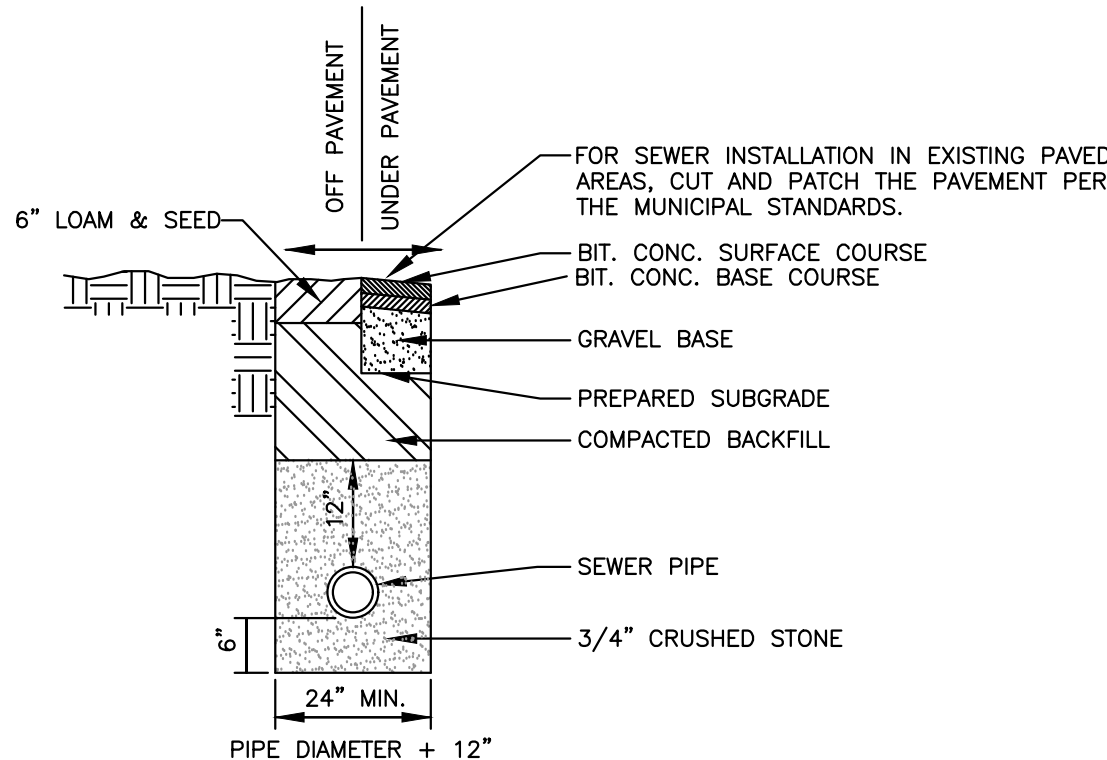


PLAN VIEW



CROSS SECTION

**TYPICAL SADDLE CONNECTION**  
(NO SCALE)

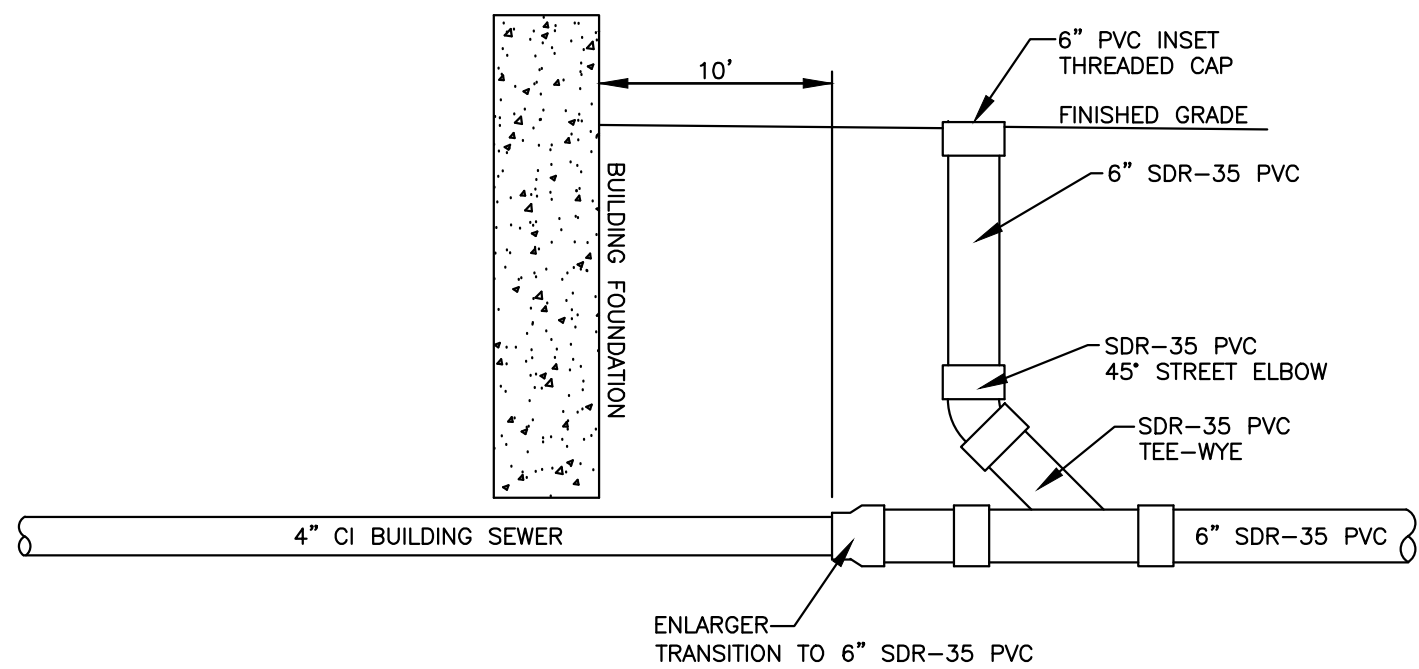


**NOTES:**

1. TRENCH BACKFILL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS CONTAINED IN MASSACHUSETTS HIGHWAY DEPARTMENT, STANDARDS AND SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988.

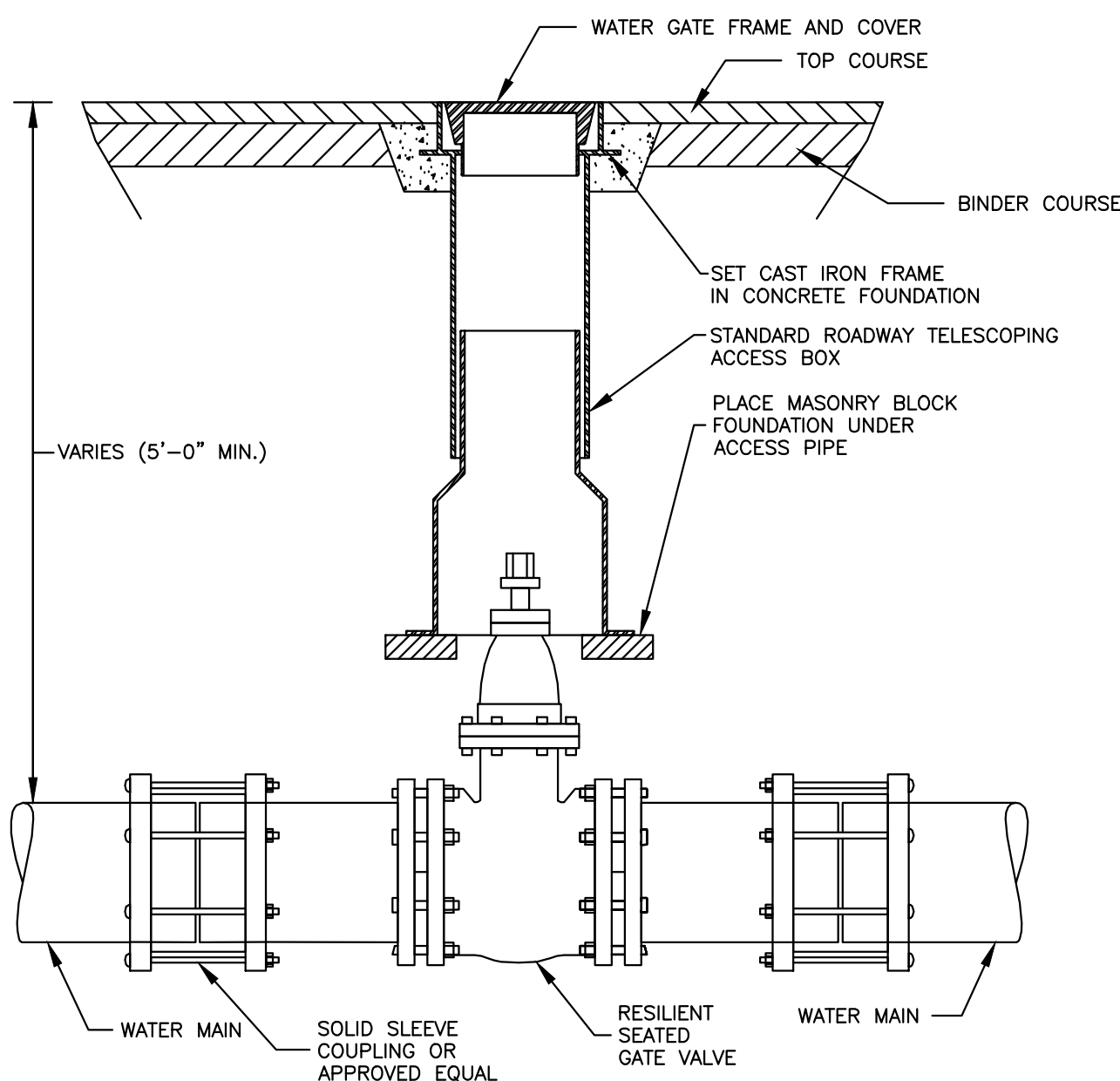
**TYPICAL SEWER  
PIPE BEDDING**

(NO SCALE)



**SEWER CLEANOUT**

(NO SCALE)



**WATER GATE VALVE**

(NO SCALE)

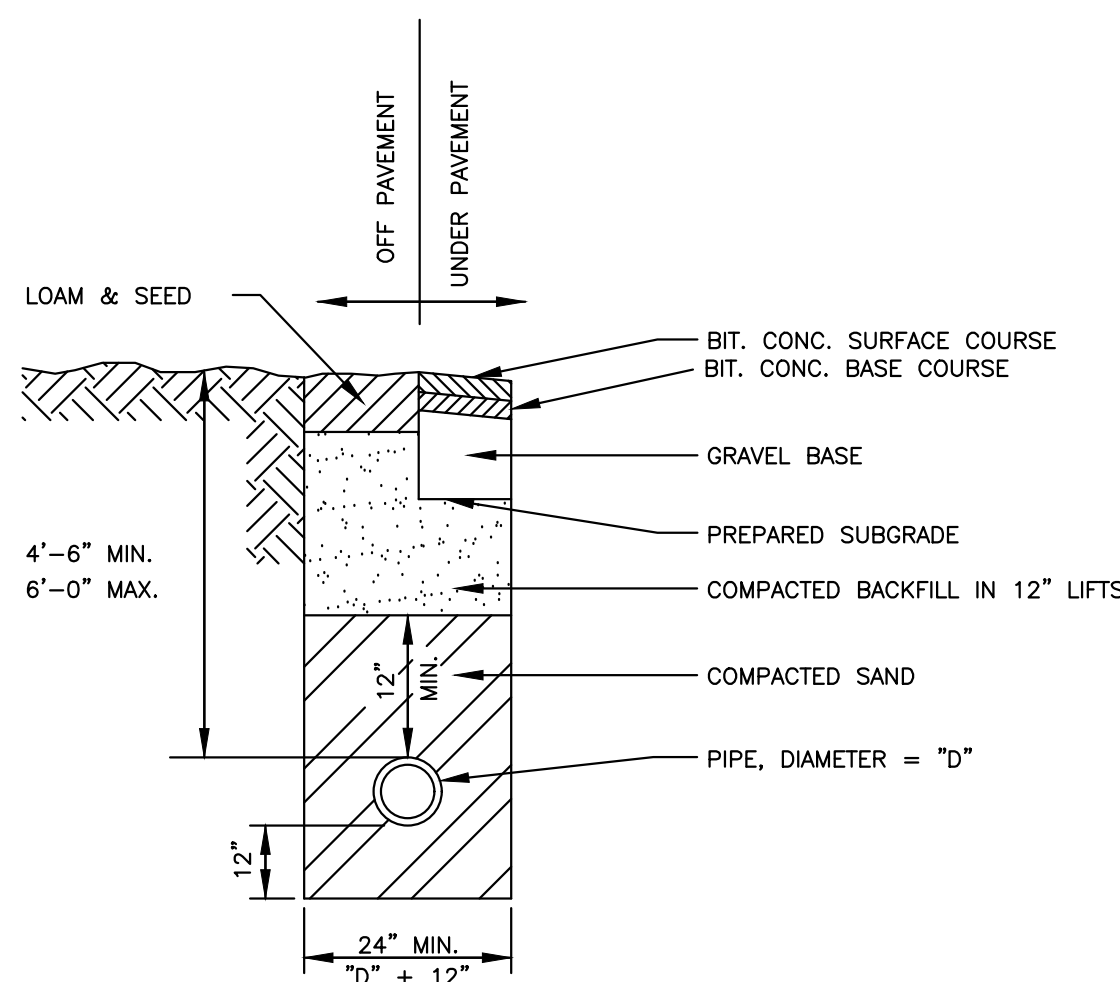
45° BEND MJ X MJ	90° BEND MJ X MJ	TEE MJ X MJ X MJ
22 1/2° BEND MJ X MJ		
11 1/4° BEND MJ X MJ		

PIPE SIZE	MINIMUM SURFACE AREA (S.F.) OF CONCRETE AGAINST UNDISTURBED EARTH				
	11 1/4 d	22 1/2 d	45 d	90 d	TEE
4"	2.0	2.0	2.0	3.0	2.0
6"	2.0	2.0	2.0	3.0	3.0
8"	2.0	3.0	3.0	6.0	4.0
10"	2.0	3.0	5.0	9.0	6.0
12"	3.0	4.0	7.0	12.0	9.0

NOTE: PIPE FITTINGS SHALL BE AS MANUFACTURED BY U.S. PIPE SPEC. U501, U503, U505, U507, U509 OR APPROVED EQUAL. CONCRETE SHALL BE 3000 PSI PORTLAND TYPE II CEMENT CONCRETE MEETING MDPW SPEC M4.02.00 et seq. AND SHALL BE PLACED SO AS TO NOT INTERFERE WITH THE JOINTS OF THE FITTING

**TYPICAL THRUST BLOCK**

(NO SCALE)



**NOTES:**

1. TRENCH BACKFILL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS CONTAINED IN MASSACHUSETTS HIGHWAY DEPARTMENT, STANDARDS AND SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988.
2. BACKFILL MATERIALS TO MEET MUNICIPAL STANDARDS.

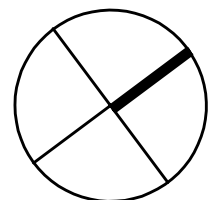
**TYPICAL WATER PIPE BEDDING**

(NO SCALE)



SCALE: 1" = 20'-0"

SCALE: 1" = 20'-0"



1. DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
2. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
3. LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
4. ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
5. THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
6. WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
7. TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
9. ALL CHECK TREE PAD SUBSTRATES SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
10. LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE TAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
11. SOIL DEPTHS: a) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b) GROUNDCOVER: 6" MIN.; c) TREES: SEE DETAIL; d) SOD/SEED: 6" MIN.
12. PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPEUS EARTH ANCHORS, SIZE FOR CALIPER

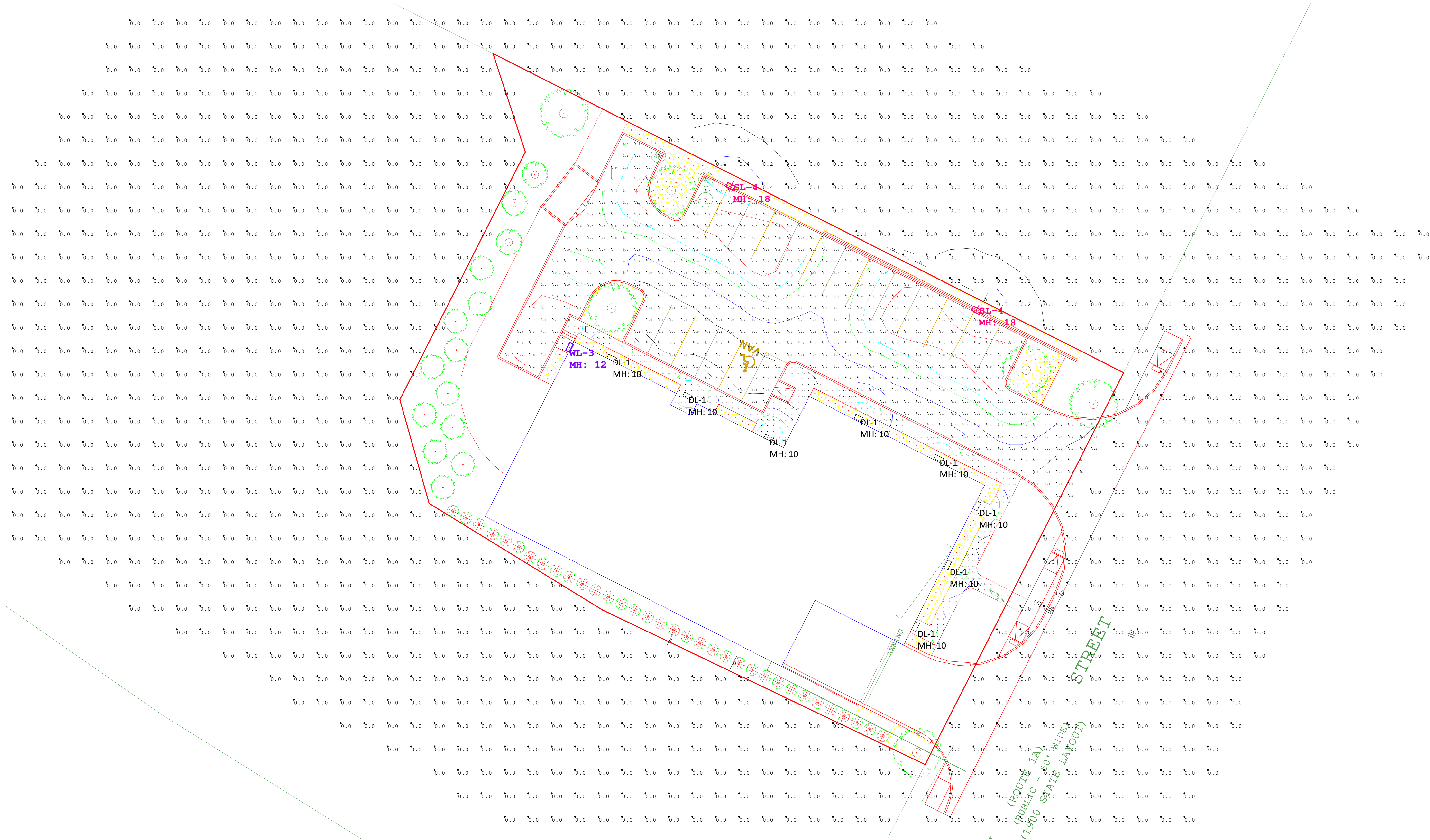
1. IRRIGATION IS DESIGN-BUILD INSTALLATION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING.
2. IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
3. TREES SHOULD BE ON A SEPARATE ZONE.
4. PROVIDE A REMOTE RAIN SENSOR ON A ROOF AREA THAT IS NOT OBSTRUCTED FROM THE OPEN SKY.
5. COORDINATE WITH OWNER FOR POINT OF CONNECTION LOCATION.
6. COORDINATE WITH OWNER FOR IRRIGATION CONTROLLER LOCATION.
7. INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'.
8. COORDINATE WITH OWNER FOR BACKFLOW PREVENTION LOCATION.
9. INSTALLER SHALL INSTALL LIGHTNING AND SURGE PROTECTION DEVICES THROUGHOUT SYSTEM AS PER MANUFACTURER'S HIGHEST SPECIFICATION LEVELS.
10. INSTALLER SHALL ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS RELATED TO CONTROL SYSTEM INSTALLATION.
11. INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.
12. PRIOR TO BID, CONTRACTOR TO VERIFY THAT ALL MATERIALS, INSTALLATION PARAMETERS, AND OPERATIONS CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. NO LATER THAN FIVE DAYS BEFORE BID SUBMITTALS CONTRACTOR SHALL NOTIFY DESIGNER AND OWNER OF ANY CHANGES REQUIRED DUE TO CURRENT CODE OR ORDINANCE DISCREPANCIES.

PLANT SCHEDULE						
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES	
TREES						
AC	5	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING	
QR		QUERCUS COCCINEA	SCARLET OAK	3" - 3.5" CAL.	B&B, 6' CLEAR BRANCHING	
TP	9	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	8' TALL	B&B	
TO	34	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	5' TALL	B&B	
PA	5	PICEA ABIES	NORWAY SPRUCE	8' TALL	B&B	
SHRUBS AND GROUNDCOVER						
IS	11	ILEX 'STEEDS'	STEEDS HOLLY	3' TALL	36" O.C. B&B	
IG	7	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	3' TALL	36" O.C. B&B	
TH	41	TAXUS X MEDIA 'HICKSII'	HICKS YEW	3' TALL	30" O.C. B&B	
RA	39	RHUS 'GRO LOW'	GROW LOW SUMAC	3 GAL	36" O.C. B&B	
PERENNIALS AND ORNAMENTAL GRASSES						
AC	13	ASTILBE CHINENSIS 'PURPURKERZE'	PURPLE CANDLE	1 GAL	18" O.C. ; CONTAINER	
CK	28	CALAMAGROSTIS X A. 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	24" O.C. CONTAINER	
RF	28	RUDBECKIA FLUIDA 'GOLDSTURM'	BLACK EYE SUSAN	1 GAL	18" O.C. CONTAINER	
PL	16	PEROVSKIA A. 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	1 GAL	18" O.C. CONTAINER	
PH	23	PENNISETUM A. 'HAEMEL'	HAEMEL FOUNTAIN GRASS	1 GAL	24" O.C. CONTAINER	
PV	96	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	1 GAL	24" O.C. CONTAINER	
LS	160	LIRIOPE SPICATA	CREeping LIRIOPE	1 GAL	15" O.C. CONTAINER	
SN	9	SALVIA X SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SALVIA	1 GAL	18" O.C. CONTAINER	

LIGHT SCHEDULE						
SYMBOL	LABEL	DESCRIPTION	ARRANGEMENT	LLF	LUM. LUMENS	REP
□	SL4	RAR1-160L-100-4K7-4W-BC	SINGLE	0.900	11885	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
□	WL-3	LCN3-24L4K-075-3	SINGLE	0.900	5702	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
□	DL-1	WS-W30511-A120914	SINGLE	0.900	642	ILLUMINATE 617-947-8996 STEVE PRUDHOMME

1. SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN FOR MORE INFORMATION
2. COORDINATE ALL BUILDING MOUNTED LIGHT WITH FINAL ARCHITECTURAL DRAWINGS AND ELECTRICAL DRAWINGS.
3. SEE CIVIL ENGINEER'S DRAWING FOR POLE FOOTING; FOOTING SHOULD BE EXPOSED 2' ABOVE GRADE.





Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Lumens
	2	SL-4	SINGLE	0.900	RAR-1-160L-100-4K7-4W-BC	7371
	1	WL-3	SINGLE	0.900	LNC3-24L4K-075-3	5702
	8	DL-1	SINGLE	0.900	WS-W30511 A120914	642

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT	Illuminance	Fc	1.34	4.7	0.0	N.A.	N.A.
SIDEWALK	Illuminance	Fc	0.90	4.6	0.0	N.A.	N.A.
SPILL LIGHT	Illuminance	Fc	0.00	0.5	0.0	N.A.	N.A.

Prepared By:



MDLA  
MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC  
732 EAST BROADWAY #3  
BOSTON, MA 02127  
T: 203.592.4788  
www.m-d-a.com

1363-1391 MAIN STREET  
WALPOLE, MA

STAMP

REV. NO.	DATE	DESCRIPTION

PHOTOMETRIC  
PLAN

DRAWN  
CHECKED  
SCALE  
AS NOTED  
DATE  
04/03/20

L 2

SHEET 2 OF 3  
plot date: 4/3/2020



PANDORA Exterior Sconce

WS-W30507 / WS-W30509 / WS-W30511

MODERN FORMS

Fixture Type:

Catalog Number:

Project:

Location:

1"

4 1/2"

3"

4 1/2"

1 1/2"

4 1/2"

WS-W30507

WS-W30509

WS-W30511

PRODUCT DESCRIPTION

A popular understated design updated with a sleek black finish, Pandora brings sculptural sophistication and high-powered energy-efficient LEDs to your overall lighting scheme, whether you mount it inside or out. With its tiered, minimalist form and two points of illumination, you'll never regret opening this box.

SPECIFICATIONS

Construction:

Aluminum hardware, glass diffuser

Light Source:

High output LED

Finish:

Black, Oil Rubbed Bronze

Standards:

ETL & cETL listed, Wet Location, IP65

FEATURES

• Up and down illumination

• No transformer or driver needed

• Color Temperature: 3000K

• Dimmer: ELV

• CRI: 85

• Rated Life: 50,000 hours

ORDER NUMBER

Model	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W30507	7"	12W	270	200	BK Black
WS-W30509	9"	20W	120V	546	410 ORB Oil Rubbed Bronze
WS-W30511	11"	28W		550 415	

Example: WS-W30509-ORB

moderforms.com

Phone (866) 810-6615

Fax (800) 528-2585

Headquarters/Eastern Distribution Center

44 Harbor Park Drive

Port Washington, NY 11050

Central Distribution Center

1800 Distribution Ct

Lithia Springs, GA 30122

Western Distribution Center

1350 Archibald Avenue

Ontario, CA 91760

Modem Forms retains the right to modify the design of our products at any time as part of the company's continuous improvement program. Feb 2018

RATIO Series

AREA/SITE LIGHTER

FEATURES

• Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots

• Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues

• Visual comfort standard

• Compact and lightweight design with low EPA

• 3G rated for high vibration applications including bridges and overpasses

• Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-pin with networked controls

• Best in class surge protection available

CONTROL TECHNOLOGY

SiteSync

NX DISTRIBUTED INTELLIGENCE

wISCAPÉ

DATE:

LOCATION:

TYPE:

PROJECT:

CATALOG #:

RELATED PRODUCTS

• Also

• Cameron LED

• Ratio Family

SPECIFICATIONS

CONSTRUCTION

• Rectilinear form mimics the traditional photocon form factor keeping a similar but updated style and appearance. Ideal for retrofit applications

• Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface

• Corrosion resistant, die-cast aluminum housing with powder-coat paint finish

OPTICS

• Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance

• 80, 160, 320 or 480 midpower LEDs

• 3000K, 4000K or 5000K (70 CRI) CCT

• Zero uplight at 0 degrees of tilt

• Field installable optics

INSTALLATION

• Standard square arm mount, compatible with E8 end pattern

• Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.

• Knockie arm filter option available for 2.3/8" O.D. tension. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

ELECTRICAL

• Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz

• Ambient operating temperature: -40°C to 40°C

• Drivers have greater than 90% power factor and less than 20% THD

• LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery

• Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE CB2.41.2 Category C, High and Surge Location Category C-3. Automatically takes fixture off-line for protection when device is compromised

CONTROLS

• Photo control, occupancy sensor and wireless available for complete on/off and dimming control

• 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)

• 0-10V dimming leads available for use with control devices provided by others, must specify lead length

• SiteSync™ wireless control system is available via 7-pin See ordering information and details at: www.hubbellighting.com/sitesync

• NX Distributed Intelligence™ available with in future wireless control module, features dimming and occupancy sensor

KEY DATA

Lumen Range	3,000-32,000
Wattage Range	25-227
Efficacy Range (LPW)	118-155
Fixture Projected Life (Hours)	1,700-238K
Weights lbs. (kg)	13.5-24 (6.1-10.9)

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HARLED-SPEC

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HUBBELL

Lighting

LNC3

MEDIUM LED LITEPAK

FEATURES

• Litepak LNC3 is a mid-sized wallpack in the popular Litepak series

• The LNC3 features luminaires with TIR optics and four different lumen packages, multiple distributions and CCT for maximum light level and mounting height flexibility

• Capable of replacing up to 250w HD solutions at over 70% energy savings

• Energy efficient LEDs provide 70%+ energy savings with little to no maintenance when compared to traditional light sources

• Typical mounting heights of 8-20'

CONTROL TECHNOLOGY

SiteSync

NX DISTRIBUTED INTELLIGENCE

wISCAPÉ

DATE:

LOCATION:

TYPE:

PROJECT:

CATALOG #:

RELATED PRODUCTS

• LNC

• LNC2

• LNC4

SPECIFICATIONS

CONSTRUCTION

• Die-cast aluminum housing protects components and provides an architectural appearance

• Casting thermally conducts LED heat to optimize performance and long life

• Powder paint finish provides durability in outdoor environments

• Four 1/2" conduit entries (top, bottom, and sides) provided for surface conduit

• Zero uplight distributions using individual acrylic LED optics provide IES type II, III and IV distributions

• CS - Frosted acrylic diffuser option for reduced glare

• CSU - Frosted acrylic diffuser for inverted "up" mounting applications (lens required)

INSTALLATION (CONTINUED)

• Fixture attaches by two Allen-head hidden fasteners for tamper resistance

• Designed for direct, box mount or conduit feed on all four sides in single SKU

• 10kA surge protection

• Electronic driver

• 0-10V dimming drivers

CONTROLS

• Button photocontrol for dusk to dawn energy savings

• 7-pin photo-receptacle available for twist lock photocell and controls by others

• Occupancy sensor options available for complete on/off and dimming control

• SiteSync pre-commissioned wireless controls (with or without sensor)

• In addition, LITEPAK can be specified with SiteSync™ wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7

• See ordering information or visit www.hubbellighting.com/sitesync for more details

CERTIFICATIONS

• DLC® DesignLights Consortium Qualified, with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org

• Listed to UL1598 and CSA C22.2 #250.0-24 for wet locations

• Listed to UL1598 and CSA C22.2 #250.0-24 for wet locations

• IP65 Assembly

• ICA Approved (3000K configurations)

WARRANTY

• 5 year limited warranty

• See HLI Standard Warranty for additional information

KEY DATA

Lumen Range	2,991-7603
Wattage Range	28-83
Efficacy Range (LPW)	84-105
Fixture Projected Life (Hours)	1,700-238K
Weights lbs. (kg)	16.0 (8.2)

Page 19 Rev. 11/16/19

LNC3-SPEC

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HUBBELL

Lighting

1

DL-1

SCALE: N.T.S.

4

DECIDUOUS TREE PLANTING

SCALE: N.T.S.

2

SL-4

SCALE: N.T.S.

5

PERENNIAL PLANTING

SCALE: N.T.S.

3

WL-3

SCALE: N.T.S.

6

SEEDING TURF

SCALE: N.T.S.

7

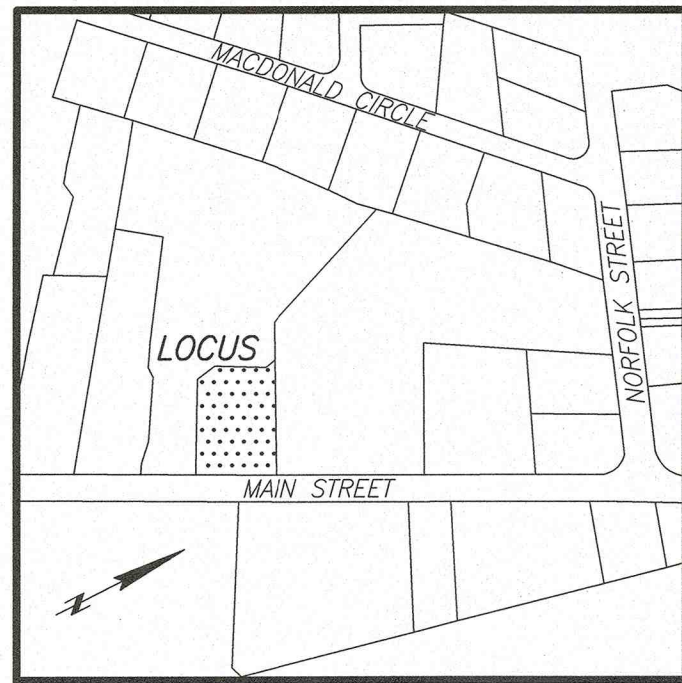
SHRUB PLANTING

SCALE: N.T.S.

FOR PERMIT; NOT FOR CONSTRUCTION

plot date: 4/3/2020





LOCUS NOT TO SCALE

#### LEGEND

- SEWER MANHOLE
- DRAIN MANHOLE
- MANHOLE
- HYDRANT
- WATER SHUT OFF/WATER GATE
- GAS SHUT OFF/GAS GATE
- CATCH BASIN
- GUY WIRE
- UTILITY POLE
- LIGHT POLE
- BOLLARD
- SIGN
- CONC BOUND FOUND WITH DRILL HOLE
- IRON ROD
- HUB AND TACK
- GAS METER
- DISABLED PARKING SPACE
- DECIDUOUS TREE
- WETLAND FLAG
- JBAR JERSEY BARRIER
- AWN AWNING
- BC BOTTOM OF CURB
- BCB BIT. CONC. BERM
- [X.X'] BUILDING DIMENSION
- BFA BUILDING FOOTPRINT AREA
- BH BUILDING HEIGHT
- BIT BITUMINOUS
- BK BACK
- BS BOTTOM OF STEPS
- (C) CALCULATED
- CLF CHAIN LINK FENCE
- CONC CONCRETE
- ENT ENTRANCE
- GFA GROSS FLOOR AREA
- I= INVERT ELEVATION
- IR IRON ROD
- LCC LAND COURT CASE
- M&S MULCH & SHRUBS
- OV OVER
- (R) RADIUS OR RIM ELEVATION
- R RECORD
- SQ. FT. SQUARE FEET
- STF STOCKADE FENCE
- TBM TEMPORARY BENCH MARK
- TC TOP OF CURB
- TS TOP OF STEPS
- TYP TYPICAL
- VGC VERTICAL GRANITE CURB
- WF-# WETLAND FLAG NUMBER
- D DRAIN
- OHW OVERHEAD WIRES
- S SEWER
- W WATER
- E ELECTRIC
- G GAS
- X-X METAL FENCE
- GUARD RAIL

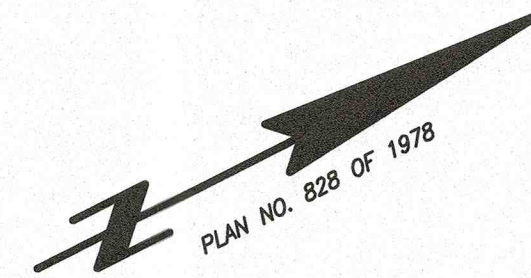
Now or Formerly  
GLAROPOULOS BASILIOS &  
CHRISTOS TRS  
BOOK 26837, PAGE 442

Now or Formerly  
GLAROPOULOS BASILIOS &  
CHRISTOS TRS  
BOOK 26837, PAGE 442

Now or Formerly  
JAMES L & LILLIS E  
CONWAY TRS  
BOOK 31251, PAGE 171

TOTAL LOT AREA  
32,488± SQ. FT.  
0.746± ACRES

Now or Formerly  
WALTER P & SUSAN  
LACVITA CO TRS  
BOOK 15518, PAGE 392



#### PARKING SUMMARY

29 REGULAR SPACES  
0 HANDICAP SPACES  
29 TOTAL SPACES  
(SEE NOTE 5)

#### REFERENCES

NORFOLK REGISTRY OF DEEDS  
PLAN NO. 352 OF 2003  
PLAN NO. 1012 OF 1986  
PLAN NO. 828 OF 1978

#### NOTES:

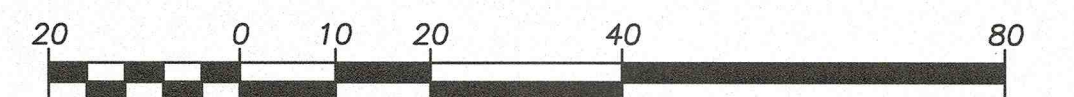
- BENCH MARK INFORMATION:  
TEMPORARY BENCH MARKS SET:  
TBM-1, SQUARE CUT IN CONCRETE LIGHT POLE BASE IN FRONT OF #1357  
MAIN STREET (WALPOLE CAR WASH)  
ELEVATION = 195.12  
TBM-2, SQUARE CUT IN CONCRETE LIGHT POLE BASE IN FRONT OF #1425  
MAIN STREET (DUNKIN DONUTS)  
ELEVATION = 199.04
- ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88);  
ESTABLISHED BY GPS.
- CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE  
"X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS  
SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD  
INSURANCE RATE MAP (F.I.R.M.) FOR NORFOLK COUNTY, MASSACHUSETTS, MAP  
NUMBER 25021C0169E, TOWN OF WALPOLE COMMUNITY NUMBER 250254, PANEL  
NUMBER 0169, SUFFIX E, HAVING AN EFFECTIVE DATE OF JULY 17, 2012.
- PARKING SUMMARY ONLY INCLUDES NUMBER OF SPACES THAT WERE CLEARLY  
IDENTIFIABLE AT THE TIME OF SURVEY.
- WETLAND FLAGS SET BY OTHERS LOCATED ON NOVEMBER 7, 2019 BY FELDMAN  
LAND SURVEYORS.
- ZONING DISTRICT : B, BUSINESS
- UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS  
OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE  
BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE  
APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES  
INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACURATELY  
SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE  
VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY  
ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION  
OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL  
FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS  
PRIOR TO EXCAVATION.

### EXISTING CONDITIONS PLAN 1391 MAIN STREET WALPOLE, MASS.

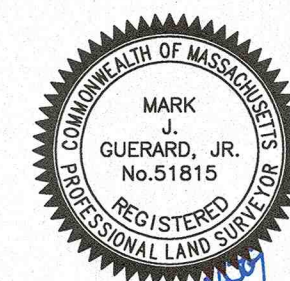
FELDMAN LAND SURVEYORS  
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SEPTEMBER 4, 2019  
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RESEARCH DK	FIELD CHIEF SH	PROJ MGR MAG	APPROVED	SHEET NO. 1 OF 1
CALC DK	CADD DK	FIELD CHECKED	CRD FILE	JOB NO. 17005
FILENAME: S:\PROJECTS\17000s\17005\DWG\SUBMITTED\17005-EC\SUBMIT2020-01-02.dwg				



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND  
THE LATEST PLANS AND DEEDS OF RECORD.

MARK J. GUERARD JR., PLS (MA# 51815)  
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1/2/20  
DATE